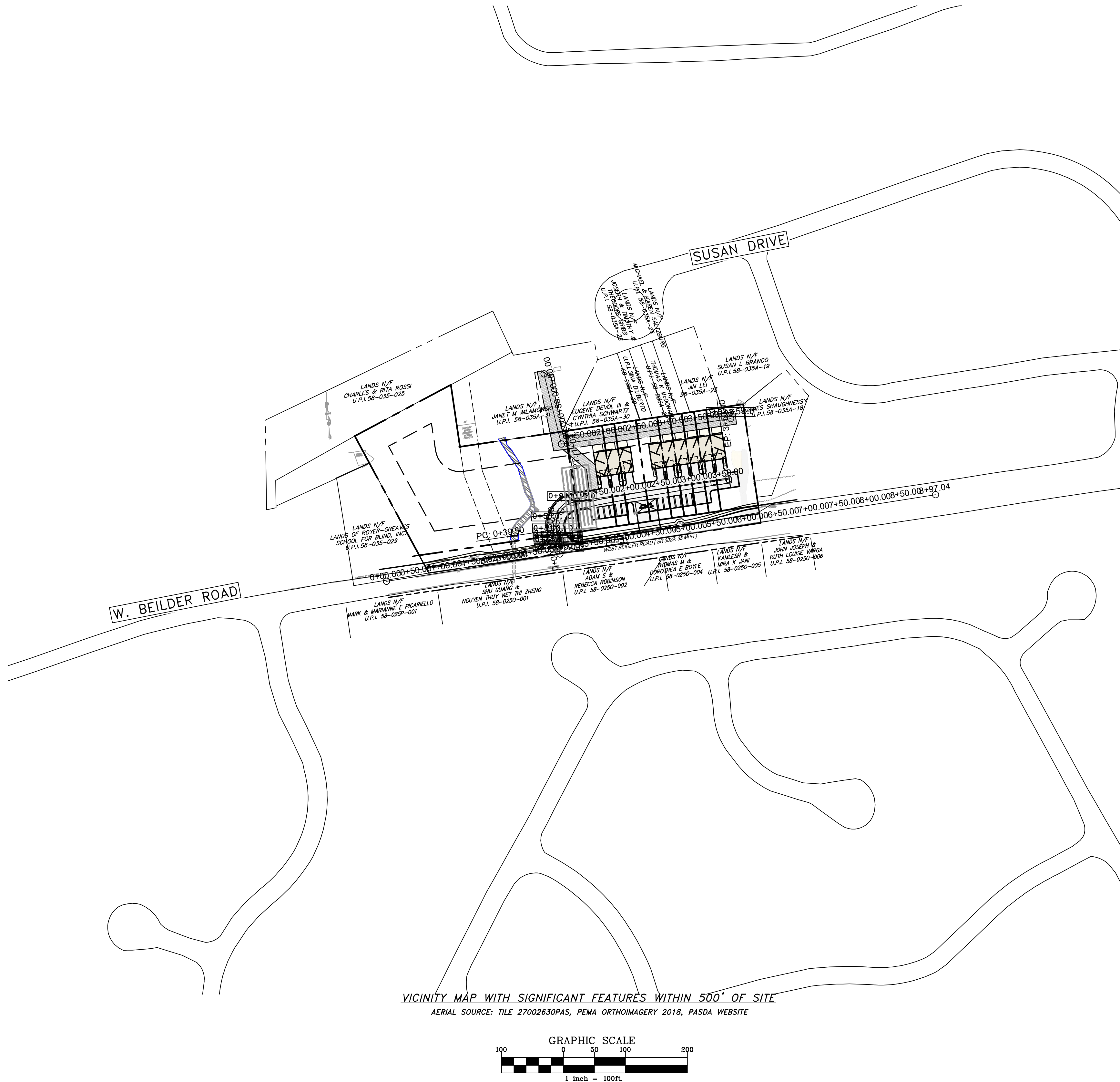
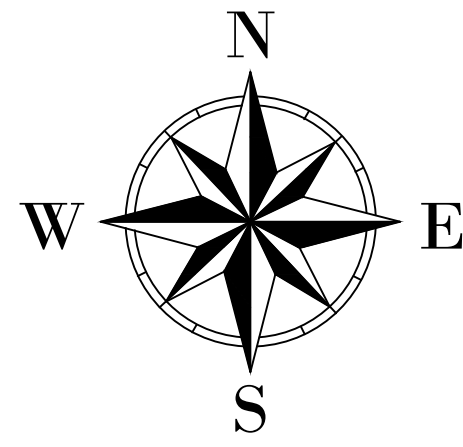


SUBDIVISION AND LAND DEVELOPMENT PLAN

450 WEST BEIDLER ROAD

BLOCK 58-035-026 & 58-035A-114



DRAWING SCHEDULE

1. COVER SHEET
2. FINAL RECORDING PLAN
3. EXISTING CONDITIONS & NATURAL RESOURCES PLAN
4. POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
5. PCSM DETAILS
6. PCSM DETAILS & NOTES
7. PCSM DRAINAGE AREA MAPS
8. EROSION & SEDIMENT CONTROL PLAN - EXISTING CONDITIONS
9. E&SC PLAN - POST CONDITIONS
10. E&SC PLAN NOTES & DETAILS
11. E&SC PLAN DETAILS
12. STREAM STABILIZATION DETAILS
13. GRADING & UTILITY PLAN
14. MISCELLANEOUS CONSTRUCTION DETAILS & NOTES
15. SANITARY PROFILE, DETAILS & NOTES
16. STORM SEWER PROFILE
17. ROAD & DRIVE PROFILE
- LANDSCAPE PLANS PREPARED BY JESSE FORRESTER, RLA, FORRESTER LANDSCAPE STUDIOS
18. L1.1 PLANTING PLAN
19. L1.2 PLANTING PLAN
20. L2.1 PLANTING PLAN
21. LT1.1 LIGHTING PLAN

PROPERTY OWNER

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF MONTGOMERY

ON THE ____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, THE UNDERSIGNED OFFICER PERSONALLY APPEARED, _____, WHO ACKNOWLEDGED HIM/HERSELF TO BE THE OWNER OF THE PROPERTIES PROPOSED TO BE DEVELOPED IN THE SUBJECT PLAN, BEING AUTHORIZED TO DO SO, ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF THE PROPERTIES SHOWN THEREON, SITUATED IN THE TOWNSHIP OF RADNOR, DELAWARE COUNTY, PENNSYLVANIA, AND DESCRIBED THAT THIS PLAN IS MADE WITH THE OWNER'S FREE CONSENT AND INTENDED TO BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY

OWNER

UPPER MERION TOWNSHIP:

THIS IS TO CERTIFY THE BOARD OF COMMISSIONERS HAS APPROVED THIS LAND DEVELOPMENT PLAN FOR 20____ FOR RECORDING AT THE RECORDER OF DEEDS OF MONTGOMERY COUNTY, NORRISTOWN, PENNSYLVANIA, OFFERS OF DEDICATION HAVE BEEN ACCEPTED/REJECTED, BONDS, FUNDS OR SECURITIES IN ESCROW HAVE BEEN FILED WITH THE TOWNSHIP AND ACCEPTED TO COVER ALL IMPROVEMENTS SHOWN ON THE PLAN AND REQUIRED UNDER THE SUBDIVISION/LAND DEVELOPMENT AGREEMENT.

APPROVED THE ____ DAY OF _____, 20____

BOARD OF COMMISSIONERS SIGNED THIS ____ DAY OF _____, 20____

CHAIRMAN

MEMBER

TOWNSHIP ENGINEER

ATTEST:

MANAGER

MONTGOMERY COUNTY PLANNING COMMISSION:

REVIEWED BY THE MONTGOMERY COUNTY PLANNING COMMISSION THIS ____ DAY OF _____, 20____

SECRETARY

RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF MONTGOMERY COUNTY AT NORRISTOWN, PENNSYLVANIA IN THE

PLAN BOOK _____ PAGE _____ ON THE ____ DAY OF _____, 20____

RECORDER OF DEEDS

	12/29/2025	DRAFT - INTERNAL REVIEW ONLY
3.	12/31/2025	TOWNSHIP SUBDIVISION & LDP SUBMISSION
2.	12/19/2025	RESPONSE TO 12/16/25 ADMIN INCOMPLETE REVIEW
1.	11/21/2025	RESPONSE TO 9/24/25 ADMIN INCOMPLETE REVIEW
NUM.	DATE	REVISION

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:
PARKVIEW HOMES AT VALLEY FORGE, LLC
450 WEST BEIDLER ROAD, KING OF PRUSSIA
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

COVER SHEET

SHEET
1 of 19

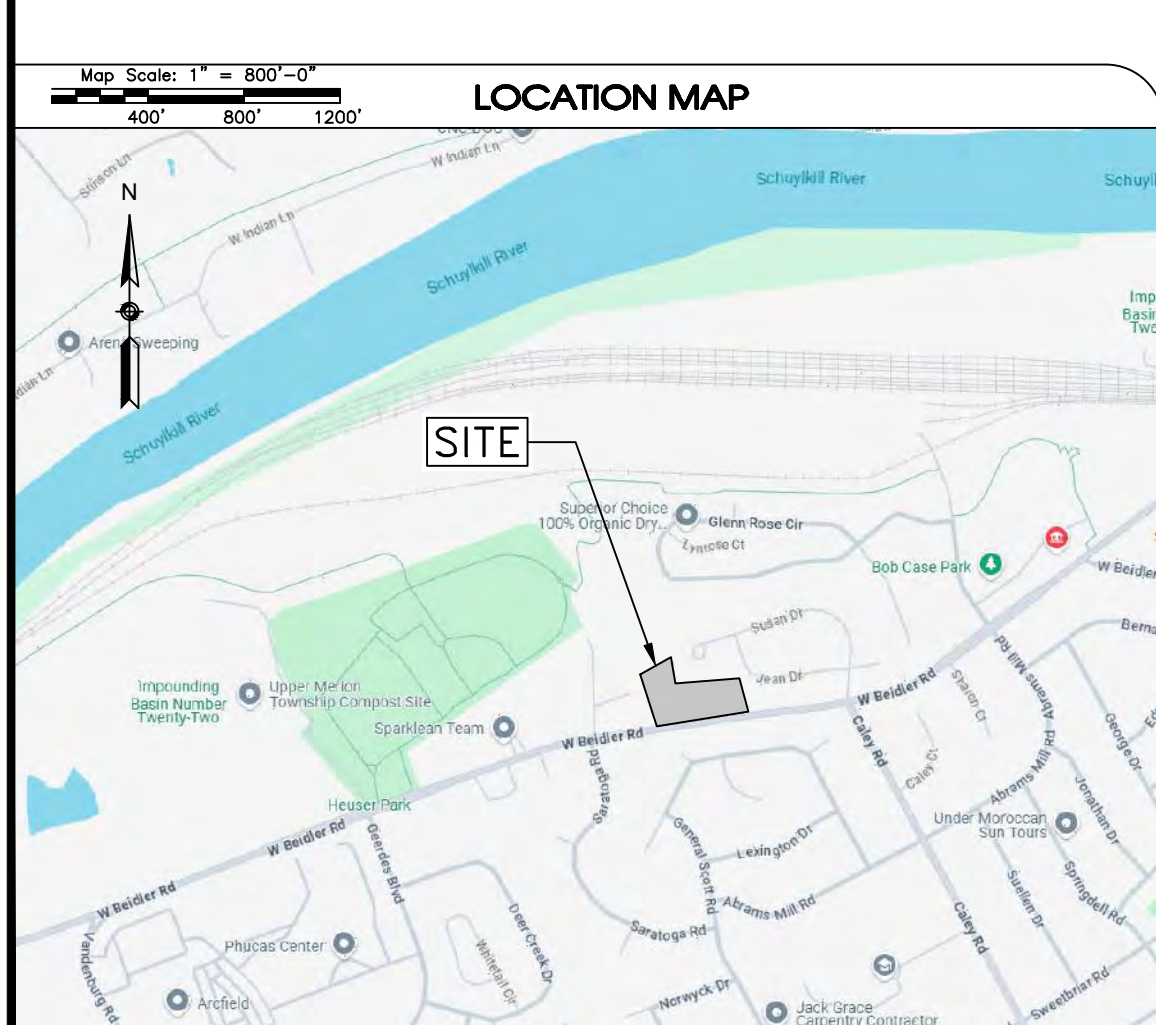
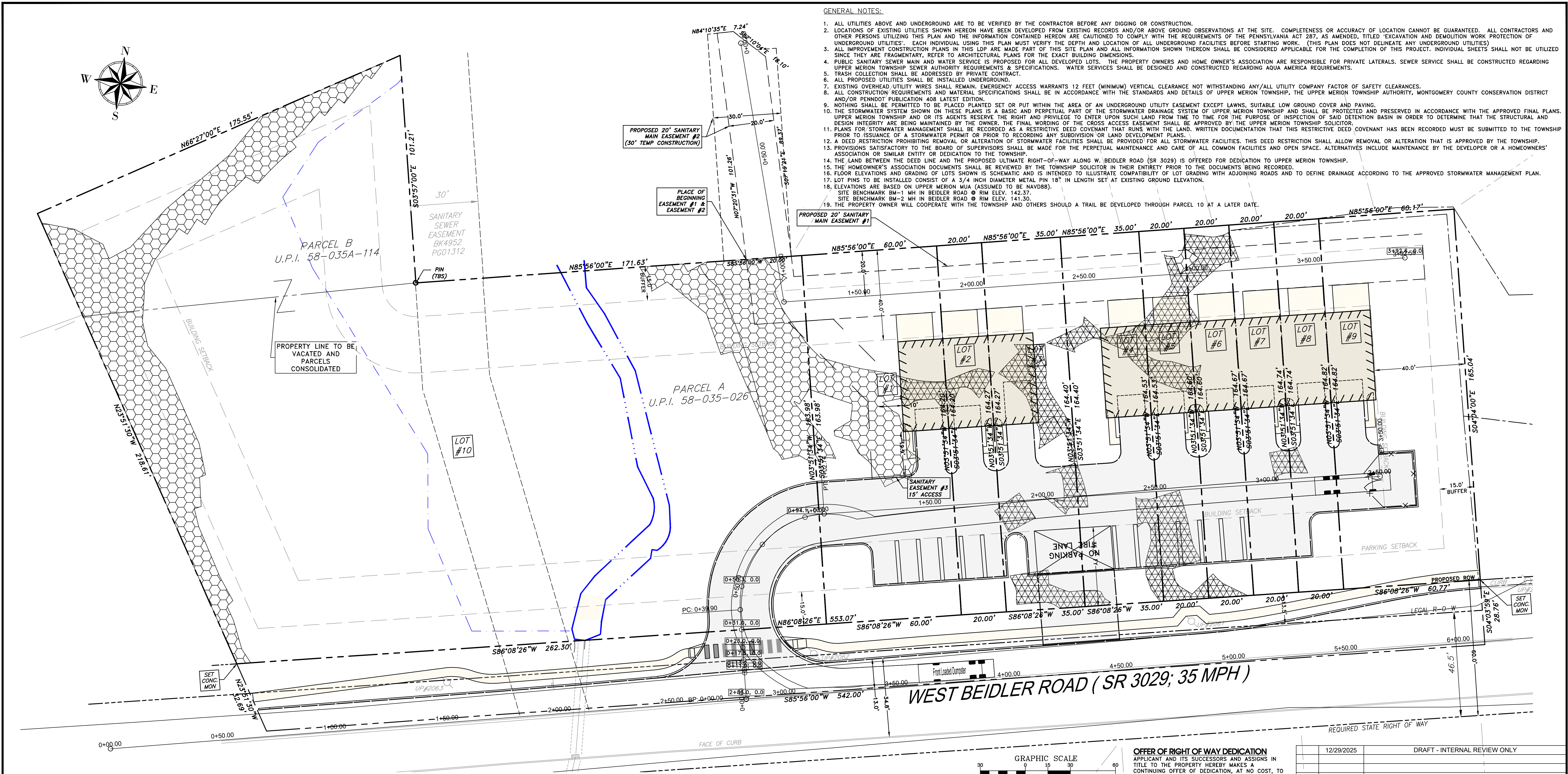
SCALE: 1" = 100'

CIVIL ENGINEER:
SITE ENGINEERING CONCEPTS, LLC

ATTN: PATRICK SPELLMAN, P.E.
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: (610) 523-9002
E: PSPELLMAN@SITE-ENGINEERS.COM

APPLICANT/ OWNER:
PARKVIEW HOMES AT VALLEY FORGE, LLC

ATTN: RUDOLPH CELLI
125 STRAFFORD AVE, SUITE 115
P: (610) 291-8838
E: RCELLI@CELLILAW.COM



DENSITY CALCULATION (SF)	
GROSS LOT AREA	123,362
LESS	
EXISTING RIGHT OF WAY	-8,856
PROPOSED RIGHT OF WAY	-7,434
WETLANDS	-17,433
SLOPES	
> 25%	-12,758
1/2 OF 15% TO 20%	10740
NET-OUT EXCLUDE MAN-MADE & <6' HIGH	-5,370
BUILDABLE AREA	18,443
ACRES	89,954
ALLOWABLE LOTS @ 6/AC	2.07
PER REFERENCE PLAN A	12

ZONING SUMMARY											
R-3A RESIDENTIAL DISTRICT											
ORDINANCE ITEM	REQUIREMENT	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10
MIN. LOT AREA	2,100 SF	9,846 SF	3,285 SF	5,752 SF	5,756 SF	3,291 SF	3,293 SF	3,294 SF	3,296	59,288 SF	59,288 SF
LOT WIDTH	20 FT	60.00 SF	20.00 SF	35.00 SF	35.00 SF	20.00 SF	20.00 SF	20.00 SF	20.00 SF	60.77 SF	201.39 SF
MIN. SETBACKS											
FRONT	25 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	NA
SIDE	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
REAR	20 SF	40.2 SF	40.3 SF	40.4 SF	40.6 SF	40.2 SF	40.8 SF	40.9 SF	40.9 SF	40.9 SF	NA
MAX. BUILDING COVERAGE	65 %	13.9 %	33.0 %	19.2 %	19.2 %	32.9 %	32.9 %	32.9 %	32.9 %	11.2 %	NA
PER REFERENCE PLAN A											

BASE PLAN NOTES

1. PARCEL INFORMATION:
OWNER: PARKVIEW HOMES AT VALLEY FORGE, LLC
450 WEST BEIDLER ROAD
DEED BOOK 6375 PAGE 02545

PARCEL A:
PARID: 58-00-01021-00-1 Block 58-035 Unit 026
GROSS LOT AREA: 111,469 SF; 2.56 AC

PARCEL B:
PARID: 58-00-01018-00-4 Block 58-035A Unit 114
GROSS LOT AREA: 11,896 SF; 0.27 AC

2. REFERENCE PLANS:
A. SUBDIVISION AND LAND DEVELOPMENT PLAN, PREPARED FOR PARKVIEW HOMES AT VALLEY FORGE, LLC, PREPARED BY TANS-PACIFIC ENGINEERING CORP. DATED 11/11/2020, REVISED 10/1/2024.
B. PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY BY LUDWIG SURVEY, JUNE 2025.

CONSOLIDATE LOT AREA CALCULATION (SF)			
PARCEL	PARCEL A	PARCEL B	CONSOLIDATED PARCEL
GROSS LOT AREA	111,469	11,896	123,365
LESS	2.56 AC	0.27 AC	2.83 AC
EXISTING RIGHT OF WAYS	8,856	0	8,856
PROPOSED RIGHT OF WAY	7,434	0	7,434
NET LOT AREA	95,179	11,896	107,075
	2.19 AC	0.27 AC	2.46 AC

OFFER OF RIGHT OF WAY DEDICATION

APPLICANT AND ITS SUCCESSORS AND ASSIGNS IN TITLE TO THE PROPERTY HEREBY MAKES A CONTINUING OFFER OF DEDICATION, AT NO COST, TO UPPER MERION TOWNSHIP TO DEDICATE ADDITIONAL RIGHT OF WAY (AS SHOWN ON THIS PLAN AS PROPOSED RIGHT-OF-WAY) OF 553.07 FEET ALONG THE FRONTAGE OF THE PROPERTY ALONG BEIDLER ROAD. THIS OFFER OF DEDICATION SHALL BE A RESTRICTIVE COVENANT THAT RUNS WITH THE LAND WHICH MAY BE ENFORCED AND ACCEPTED BY THE TOWNSHIP AGAINST ALL SUCCESSORS AND ASSIGNS IN TITLE.

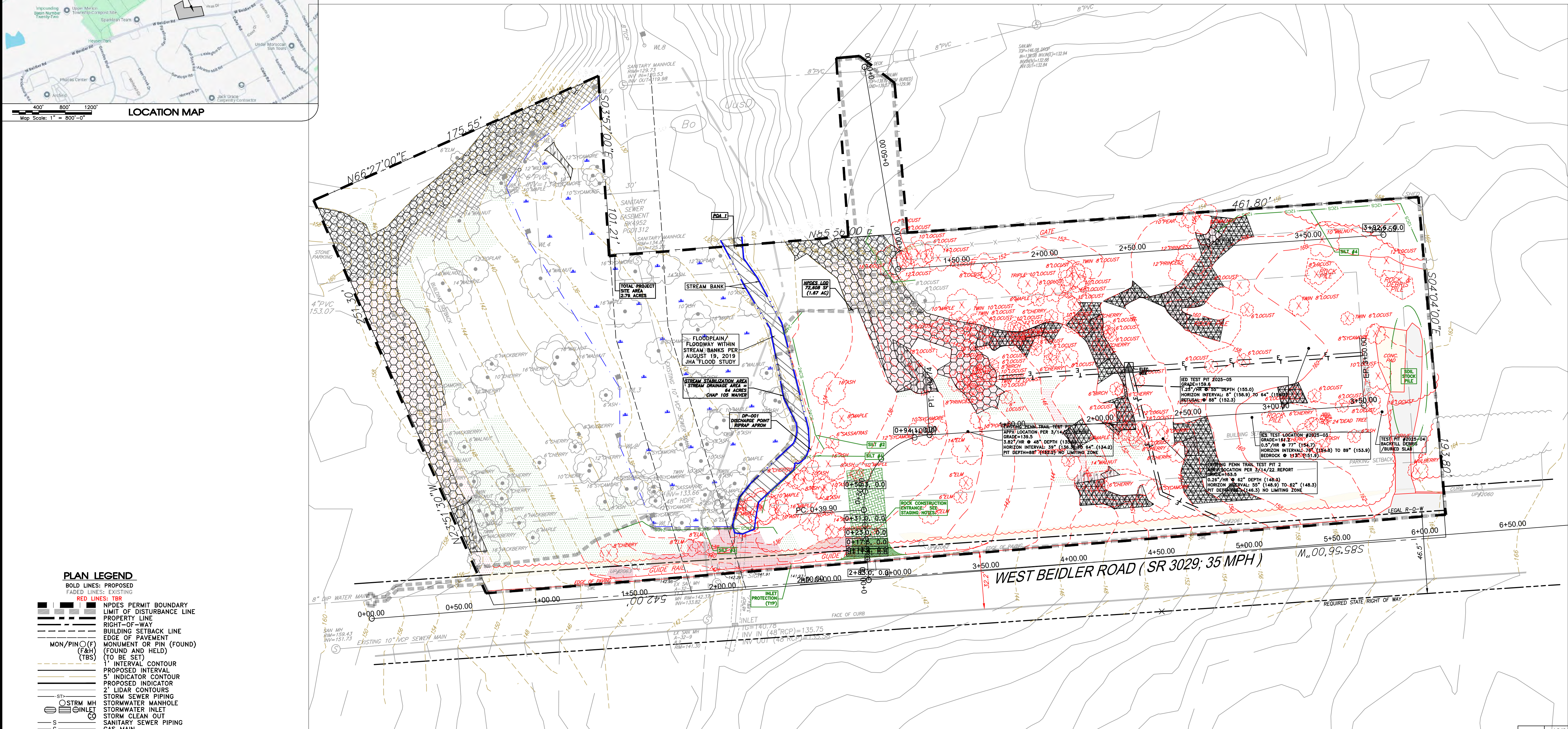
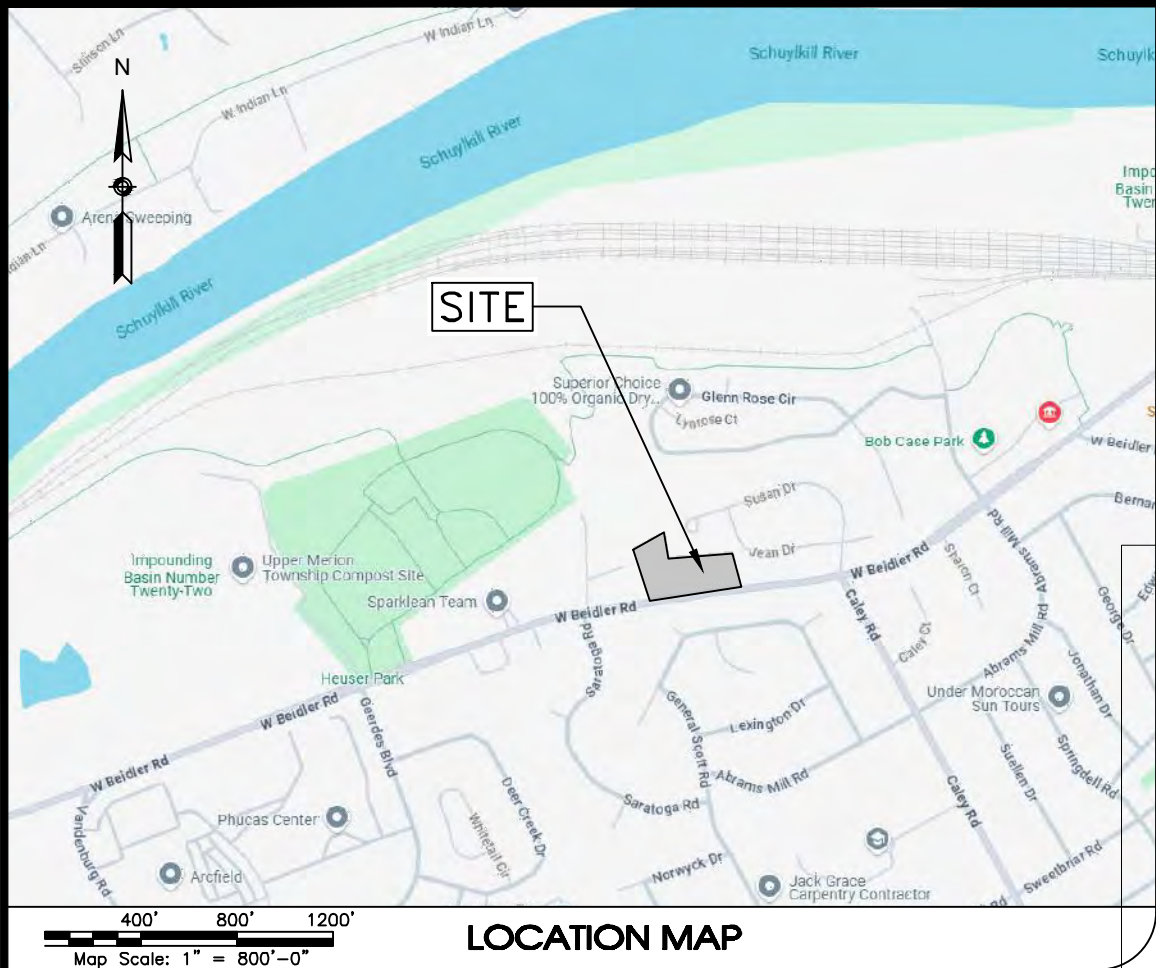
RESOLUTION 2023-23

THIS FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN ADDRESSES THE CONDITIONS OF APPROVAL FROM RESOLUTION 2023-23 GRANTING APPROVAL OF THE LAND DEVELOPMENT PLAN AND WAIVERS AS DETAILED IN THE JULY 15, 2023 RESOLUTION.

SEWAGE PLANNING MODULE

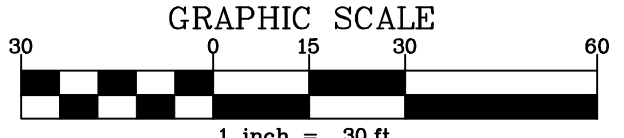
A SEWAGE PLANNING MAP IS BEING PREPARED FOR SUBMISSION TO THE PoDP.

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SITE ENGINEERING CONCEPTS, LLC		
P.O. BOX 1992		
SOUTHEASTERN, PA 19399		
P: 610-240-0450 F: 610-240-0451 E:INFO@SITE-ENGINEERS.COM		
LAND DEVELOPMENT PLAN/ NPDES PLAN		
PLAN PREPARED FOR:		
PARKVIEW HOMES AT VALLEY		
FORGE, LLC		
450 WEST BEIDLER ROAD, KING OF PRUSSIA		
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA		
18 AUG 2025		
SHEET		
2 of 19		
SCALE: 1" = 30'		



- PLAN LEGEND**
- BOLD LINES: PROPOSED**
FADED LINES: EXISTING
- RED LINES: TDR**
- NPDES PERMIT BOUNDARY
LIMIT OF DISTURBANCE LINE
PROPERTY LINE
RIGHT-OF-WAY
BUILDING SETBACK LINE
EDGE OF PAVEMENT
MONUMENT OR PIN (FOUND)
(FOUND AND HELD)
(TO BE SET)
- 1" INTERVAL CONTOUR
PROPOSED INTERVAL
5" INDICATOR CONTOUR
PROPOSED INDICATOR
2" LIDAR CONTOURS
- STORM MH
STORM SEWER PIPING
STORMWATER MANHOLE
STORMWATER INLET
STORM CLEAN OUT
SANITARY SEWER PIPING
GAS MAIN
WATER MAIN / SERVICE
UNDERGROUND ELECTRIC
OVERHEAD WIRES & POLES
COMMUNICATIONS
- HYDRANT
WATER VALVE
WATER METER
SAN VENT
SAN CO
SAN MH
GAS MH
GAS VALVE
- BUILDINGS
PORCH
ROOF LINES
ASPHALT
WALKS & PADS
WALLS
- EDGE OF LANDSCAPING
FENCE LINE
LIGHT POLE
SOIL BOUNDARY
& MAP SYMBOL
NORTH AMERICAN GREEN VMAX C350
TURF REINFORCEMENT MATTING
STREAM
- WETLANDS W/FLAGS
FLOODWAY
SLOPES, <15%
SLOPES, 15-25%
STEEP SLOPES, >25%
- NATURAL MAN-MADE
OR <45' CHANGE

- NATURAL RESOURCES NOTES**
1. STORMWATER ULTIMATELY DISCHARGES TO THE SCHUYLKILL RIVER VIA UNIT.
 2. NO WETLANDS CURRENTLY EXIST IN LIMIT OF DISTURBANCE AREA. EXISTING WETLANDS OUTSIDE OF LOD DELINEATED BY WOLF BIOSERVICES, INC., NOVEMBER 2018.
 3. THERE ARE NO HQ / EV WATERSHEDS NEAR PROJECT SITE.
 4. ALL STORMWATER FLOWS TOWARDS POINT OF INTEREST #1, SCHUYLKILL RIVER.
 5. NO RIPARIAN BUFFERS EXIST ON SITE.
 6. FLOODPLAIN/FLOODWAY DELINEATION PER "FLOOD STUDY", PREPARED FOR 450 W BEIDLER ROAD, PREPARED BY JHA COMPANIES, DATED AUGUST 8, 2019.

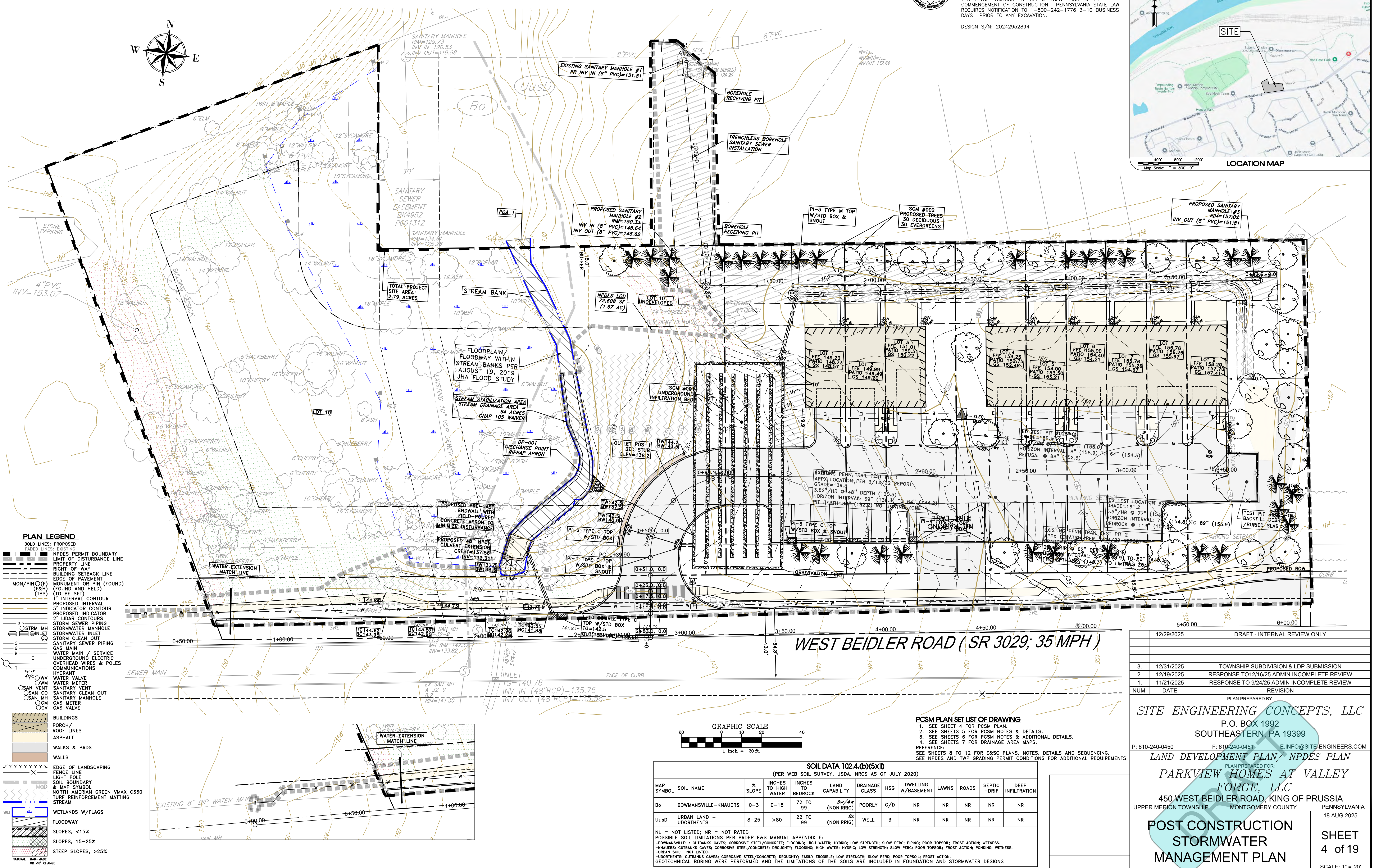
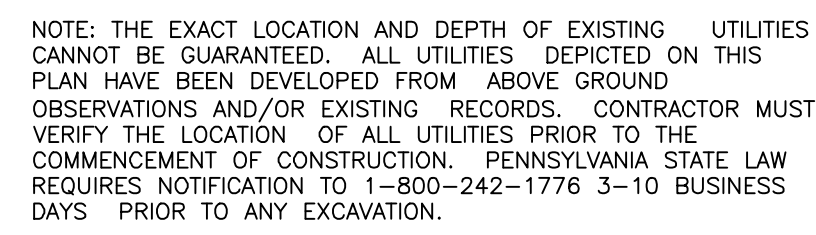


SUBDIVISION NAME
PARKVIEW HOMES AT VALLEY FORGE

OWNER/ APPLICATE
PARKVIEW HOMES AT VALLEY FORGE, LLC
125 STRATFORD AVE, SUITE 155
WAYNE, PA 19087

ENGINEER
SITE ENGINEERING CONCEPTS, LLC
ATTN: PATRICK SPELLMAN, P.E.
PO BOX 1992
SOUTHEASTERN, PA 19399-1992

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PLAN PREPARED FOR:		
PARKVIEW HOMES AT VALLEY FORGE, LLC		
450 WEST BEIDLER ROAD, KING OF PRUSSIA		
UPPER MERION TOWNSHIP	MONTGOMERY COUNTY	PENNSYLVANIA
EXISTING CONDITIONS & NATURAL RESOURCES PLAN		18 AUG 2025
		SHEET 3 of 19
		SCALE: 1" = 30'



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SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399

P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

LAND DEVELOPMENT PLAN/ NPDES PLAN

PARKVIEW HOMES AT VALLEY

FORGE, LLC

450 WEST BEIDLER ROAD, KING OF PRUSSIA
UPPER MERION TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

UPPER MERION TOWNSHIP	MONTGOMERY COUNTY	PENNSYLVANIA
		18 AUG 2025

POST CONSTRUCTION SHEET

STORMWATER

MANAGEMENT PLAN

SCALE: 1" = 20'

NPDES PCSM PLAN SHEET 1 OF 4

SHEET
4 of 19

SCALE: 1" = 20'

Pond Report

Hydraflo Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Wednesday, 11 / 19 / 2025

Pond No. 1 - 36IN PIPE &STONE BED

Pond Data

UG Chambers -Invert elev. = 136.00 ft, Rise x Span = 4.00 x 4.00 ft, Barrel Len = 90.00 ft, No. Barrels = 7, Slope = 0.00%, Headers = Yes
Encasement -Invert elev. = 135.50 ft, Width = 6.23 ft, Height = 5.00 ft, Voids = 40.00%

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	135.50	n/a	0	0
0.50	136.00	n/a	894	894
1.00	136.50	n/a	1,284	2,178
1.50	137.00	n/a	1,561	3,740
2.00	137.50	n/a	1,689	5,429
2.50	138.00	n/a	1,745	7,174
3.00	138.50	n/a	1,747	8,921
3.50	139.00	n/a	1,689	10,608
4.00	139.50	n/a	1,561	12,169
4.50	140.00	n/a	1,284	13,453
5.00	140.50	n/a	894	14,347

Culvert / Orifice Structures

Weir Structures

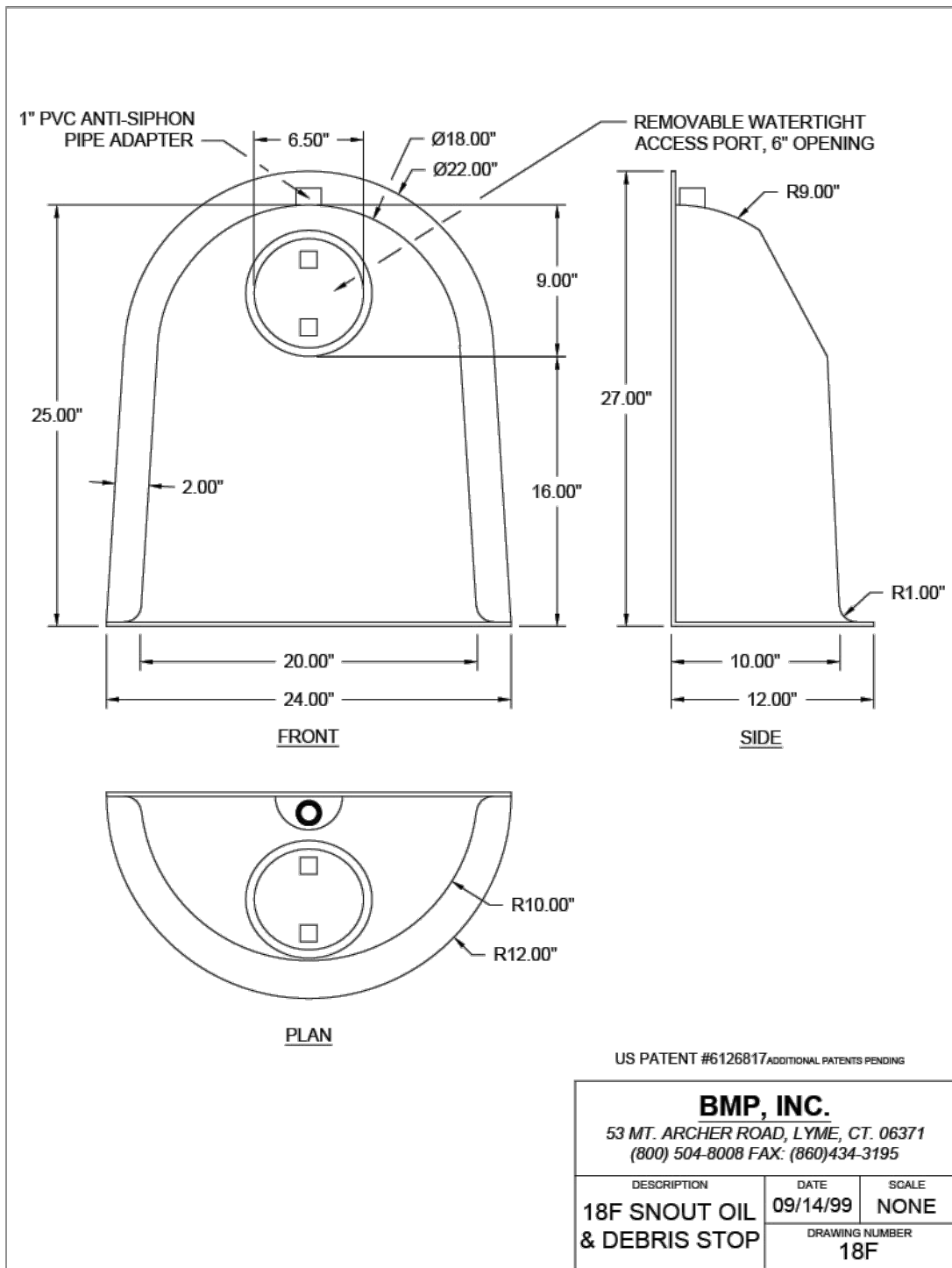
	[A]	[B]	[C]	[PrfRsr]		[A]	[B]	[C]	[D]
Rise (in)	= 10.00	0.00	0.00	0.00	Crest Len (ft)	= 0.00	0.00	0.00	0.00
Span (in)	= 10.00	0.00	0.00	0.00	Crest El. (ft)	= 0.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0	Weir Coeff.	= 3.33	3.33	3.33	3.33
Invert El. (ft)	= 138.20	0.00	0.00	0.00	Weir Type	=			
Length (ft)	= 52.00	0.00	0.00	0.00	Multi-Stage	= No	No	No	No
Slope (%)	= 15.70	0.00	0.00	n/a					
N-Value	= 0.13	0.13	0.13	n/a					
Orifice Coeff.	= 0.60	0.60	0.60	0.60	Exfil.(in/hr)	= 0.690 (by Wet area)			
Multi-Stage	= n/a	No	No	No	TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ci) and outlet (co) control. Weir risers checked for orifice conditions (ci) and submergence (s).

Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Civ A cfs	Civ B cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	135.50	0.00	—	—	—	—	—	—	0.000	—	0.000
0.50	894	136.00	0.00	—	—	—	—	—	—	0.078	—	0.078
1.00	2,178	136.50	0.00	—	—	—	—	—	—	0.089	—	0.089
1.50	3,740	137.00	0.00	—	—	—	—	—	—	0.099	—	0.099
2.00	5,429	137.50	0.00	—	—	—	—	—	—	0.110	—	0.110
2.50	7,174	138.00	0.00	—	—	—	—	—	—	0.121	—	0.121
3.00	8,921	138.50	0.33 ic	—	—	—	—	—	—	0.132	—	0.462
3.50	10,608	139.00	1.64 ic	—	—	—	—	—	—	0.142	—	1.781
4.00	12,169	139.50	2.47 ic	—	—	—	—	—	—	0.153	—	2.621
4.50	13,453	140.00	3.09 ic	—	—	—	—	—	—	0.164	—	3.252
5.00	14,347	140.50	3.60 ic	—	—	—	—	—	—	0.175	—	3.778

SCHEDULE OF STRUCTURES									
BOX					PIPE CONNECTIONS				
ID	BOX TYPE	TOP TYPE	GRATE ELE	SNOUT	SUMP INV	BOX DEPTH	DIA (IN)	MAT'L	INV
PI-1	STD	C INLET	142.9	YES	131.31	11.54	15	HDPE	138.33
PI-2	STD	C INLET	143.2	NO	139.80	3.38	12	HDPE	140.80
PI-3	STD	C INLET	145.2	YES	141.05	4.15	15	HDPE	138.06
PI-4	STD	C INLET	147.8	NO	144.43	3.38	15	HDPE	145.43
PI-5	STD	C INLET	148.0	YES	139.96	8.04	15	HDPE	144.33



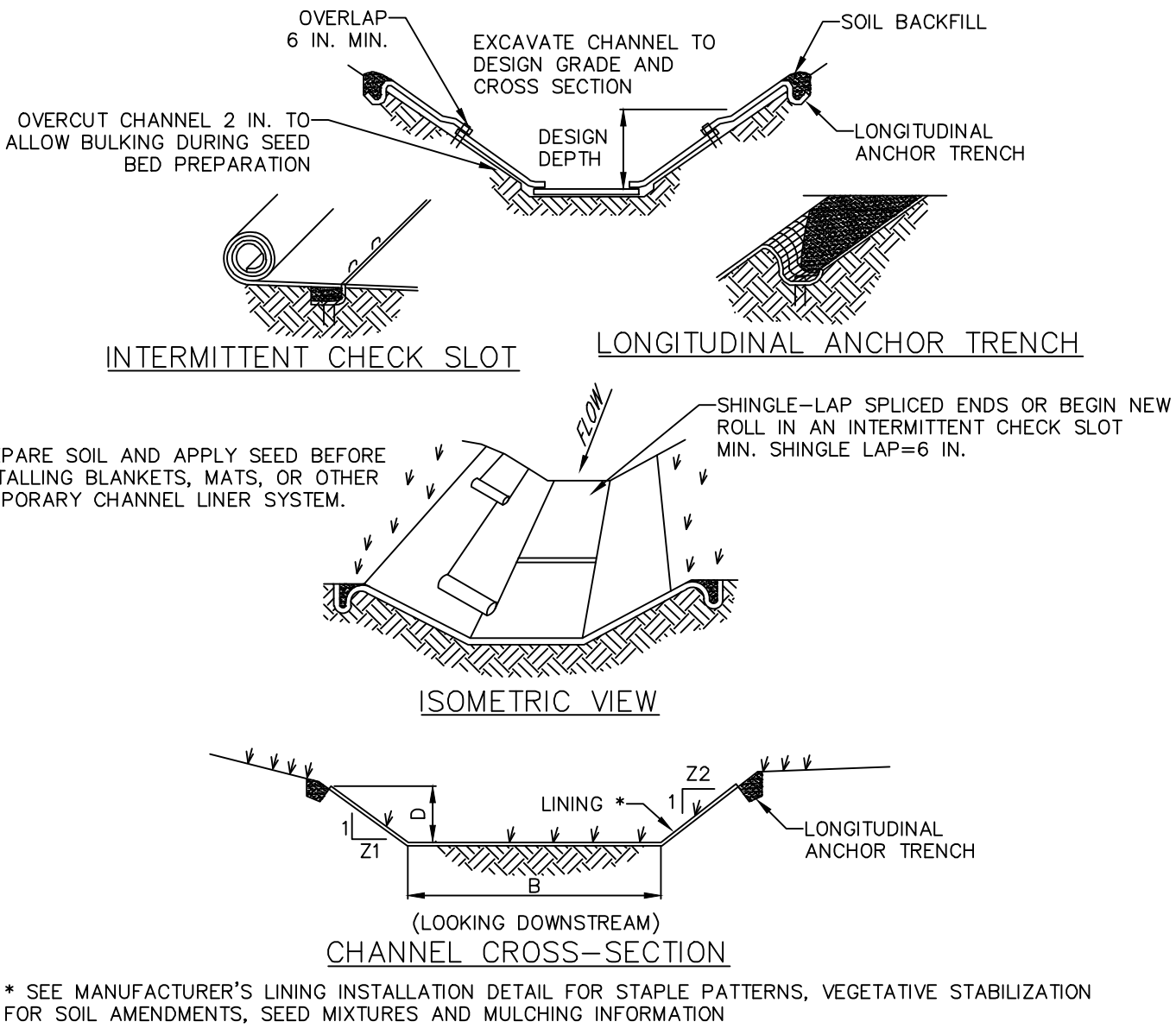
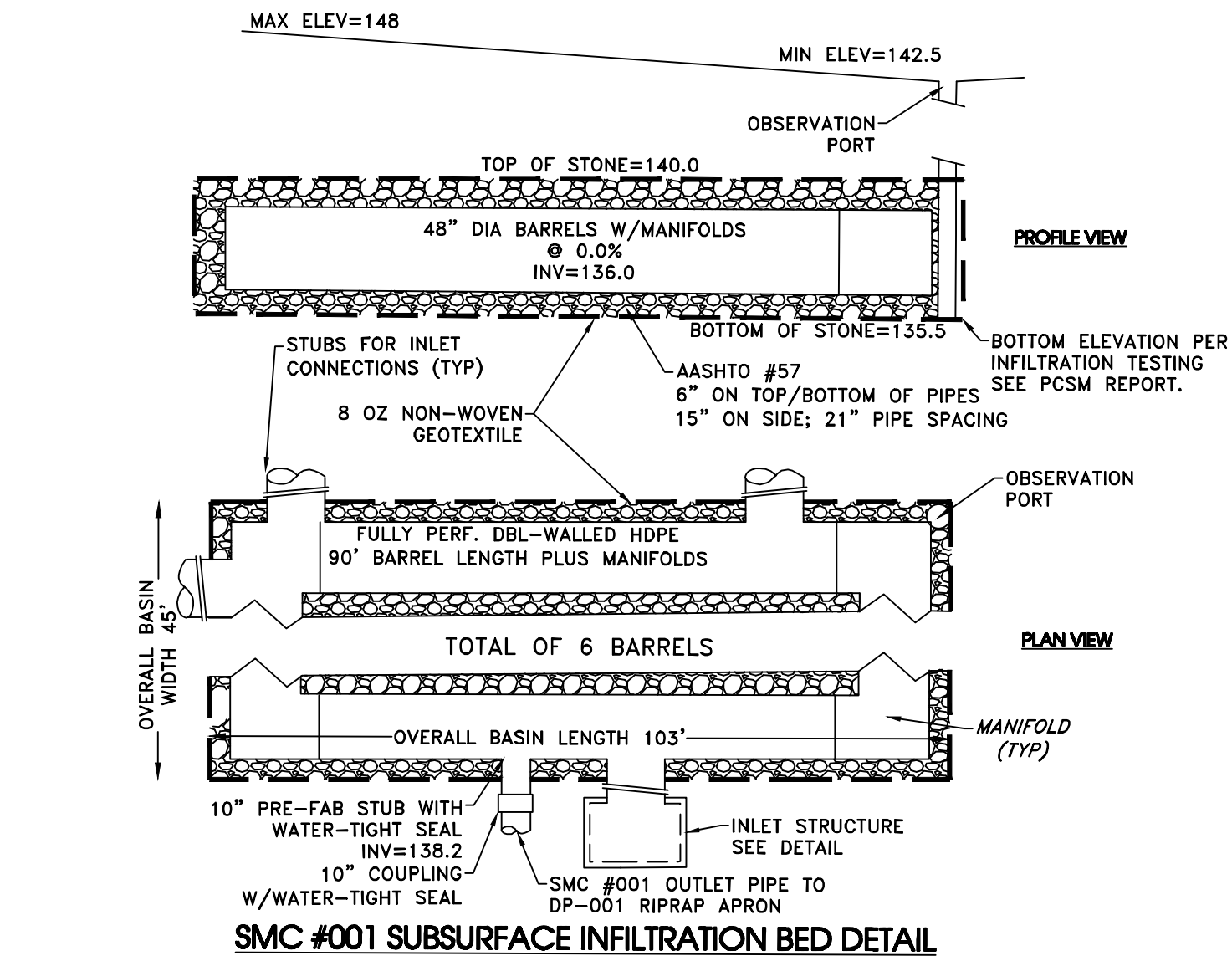
NOTES:

ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.
CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION.
SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

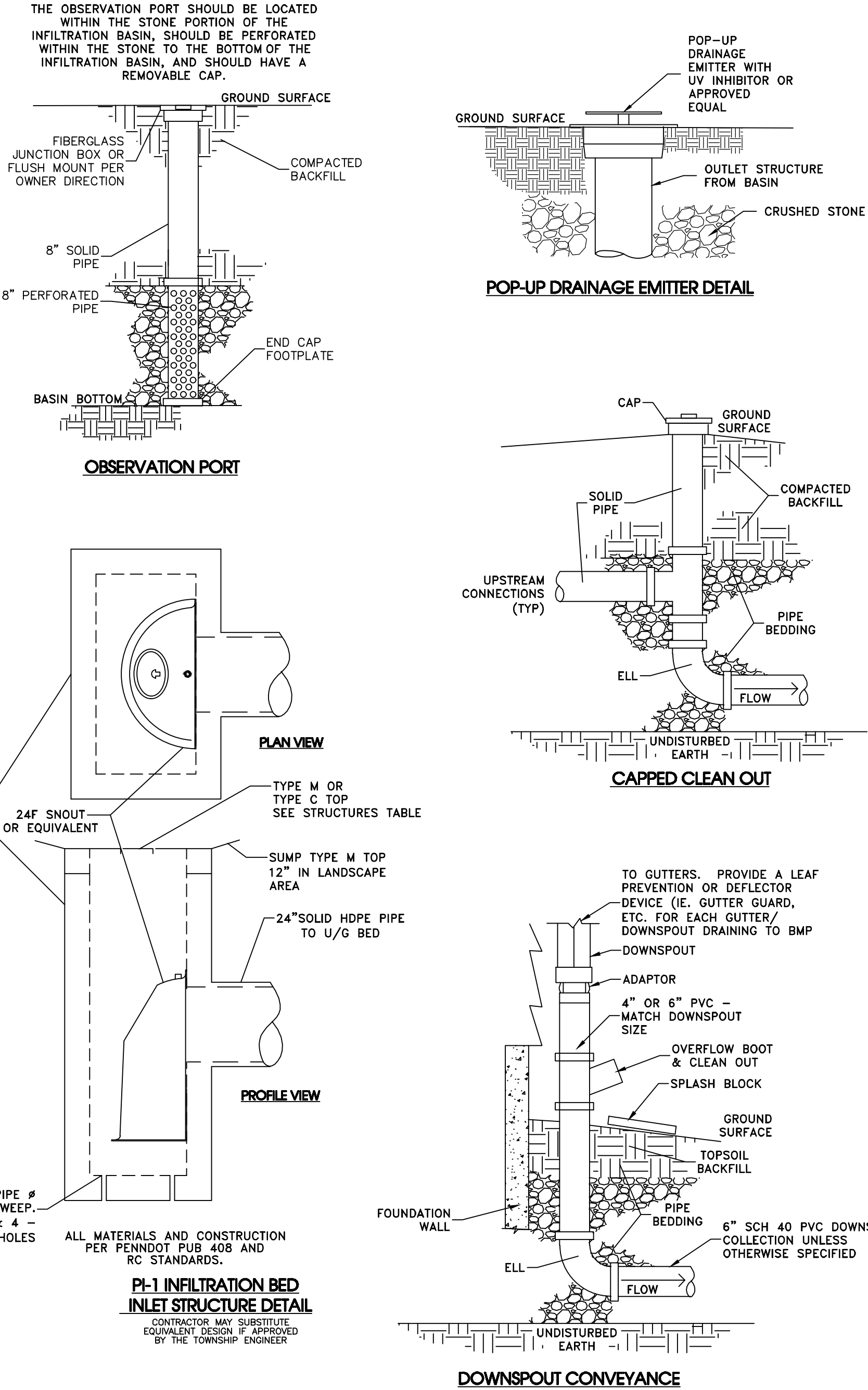
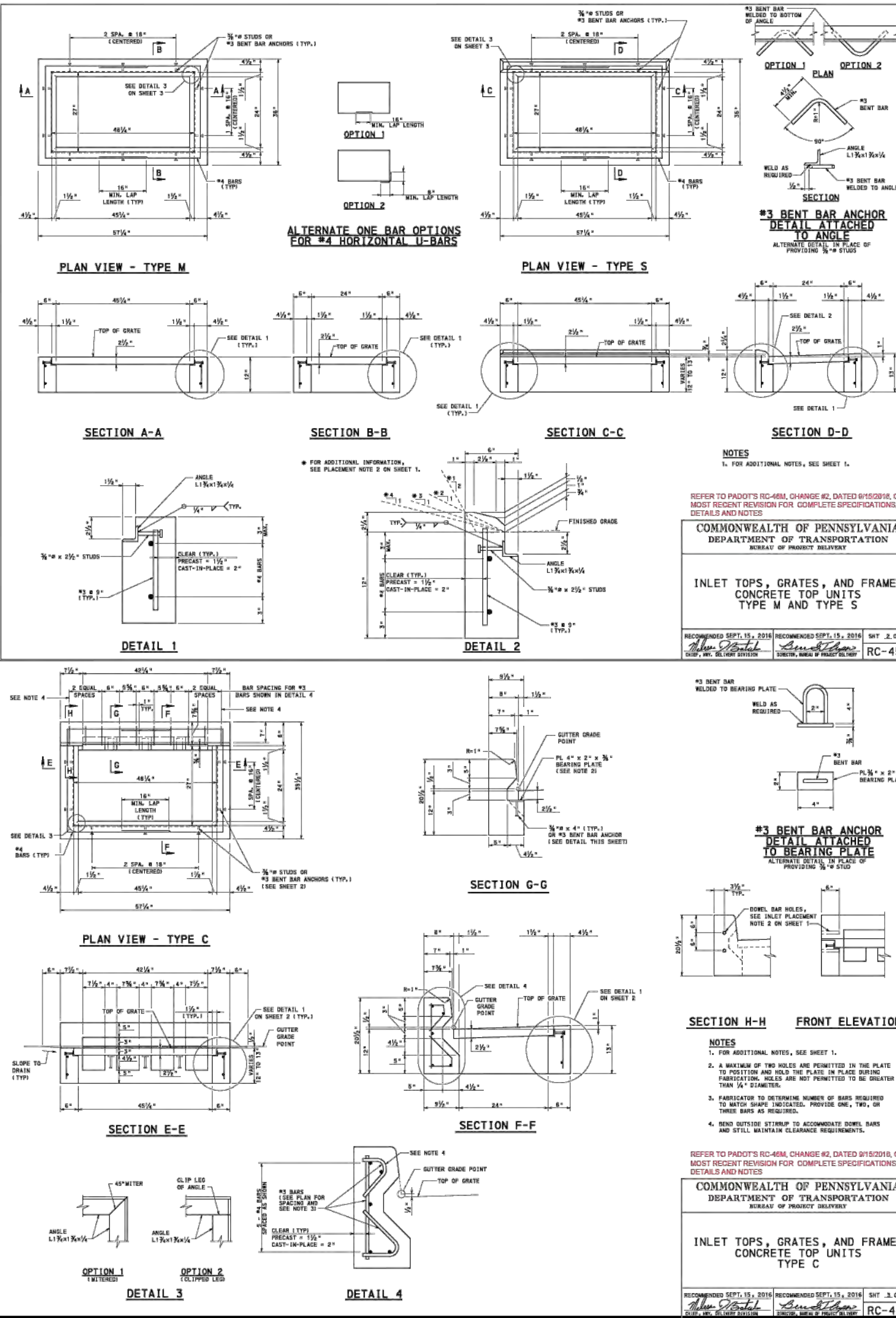
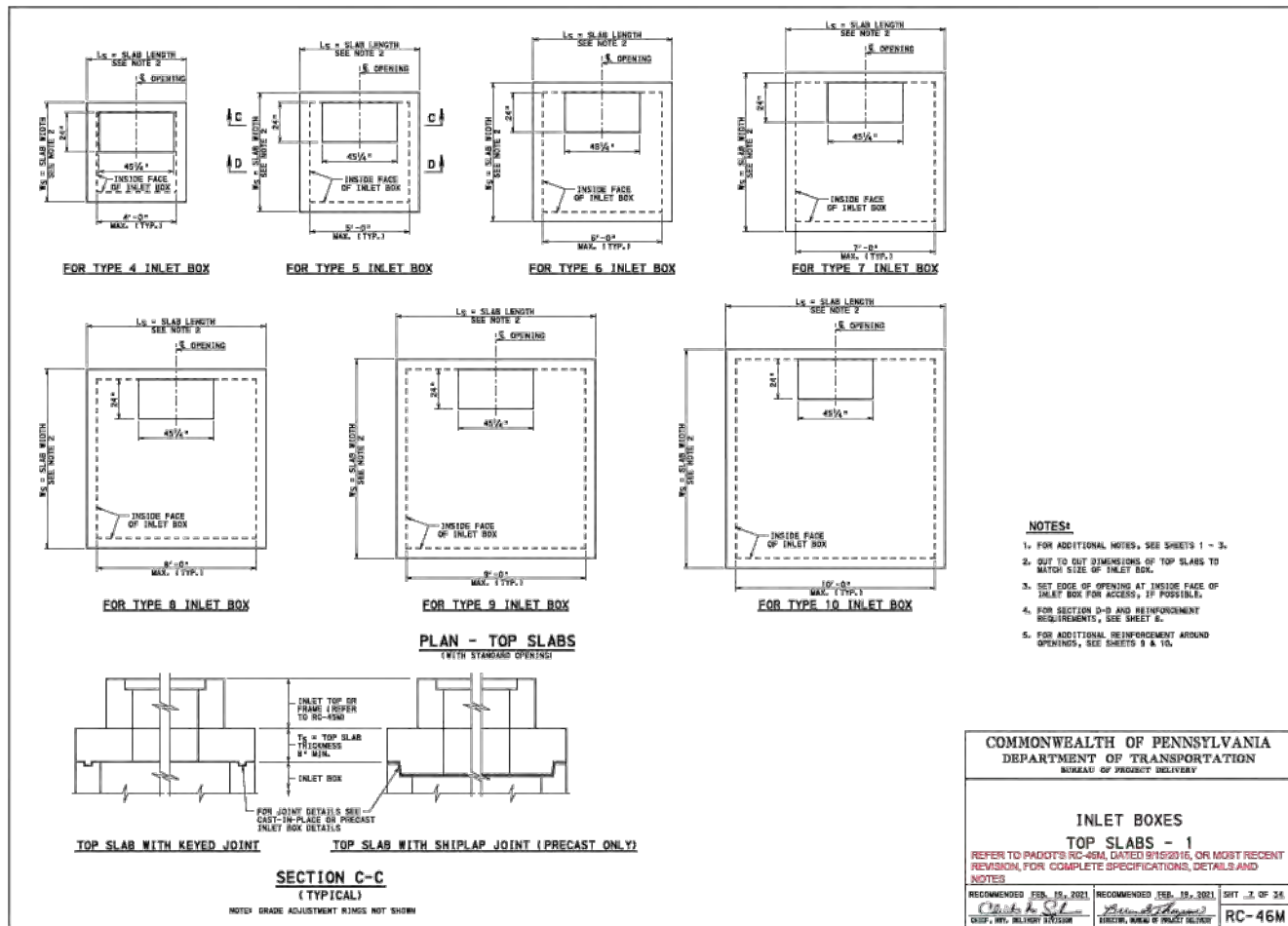
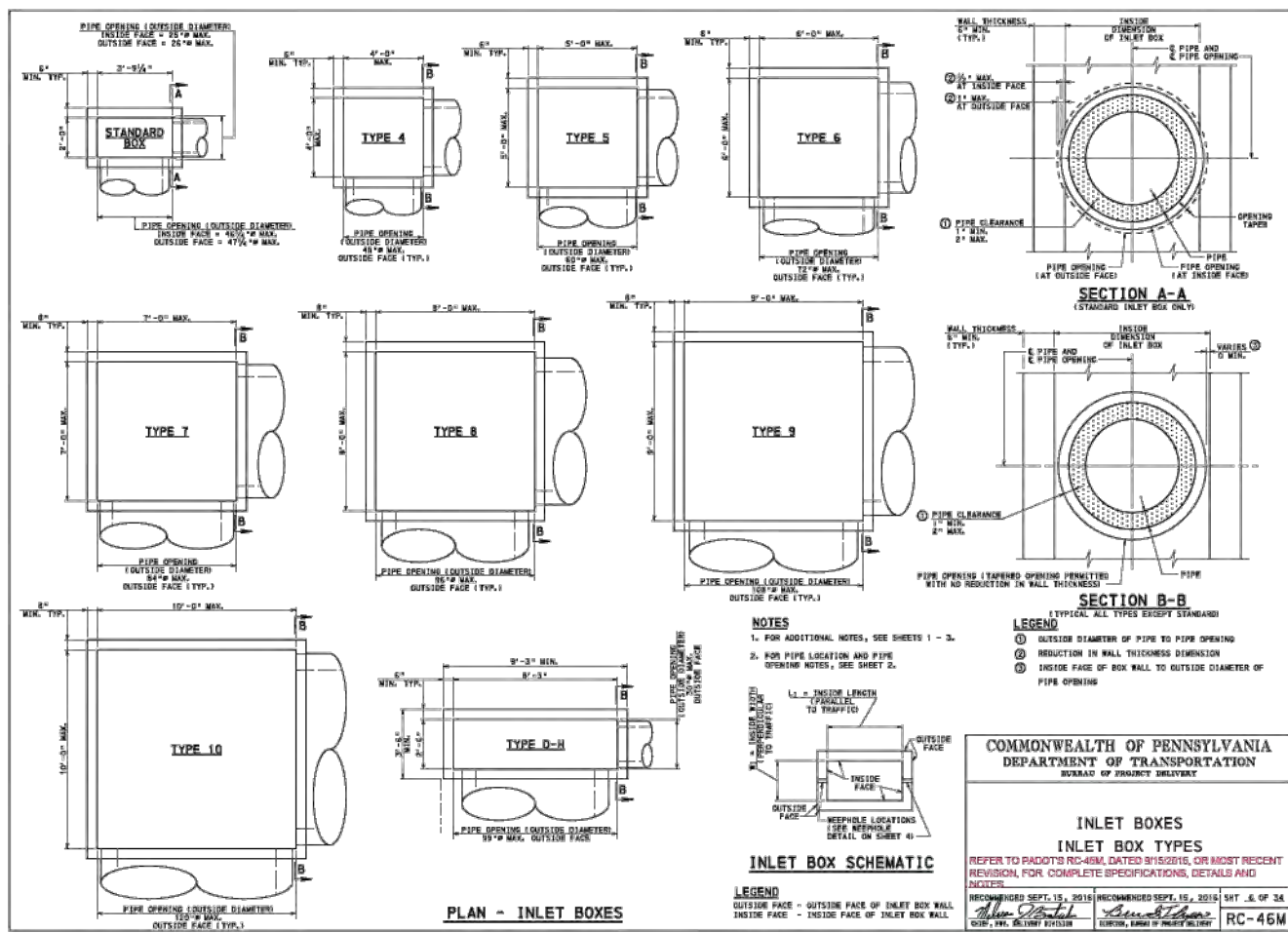
STANDARD CONSTRUCTION DETAIL #6-1 VEGETATED CHANNEL

NOT TO SCALE

PIPE RUN TABLE												
Line ID	STRUCTURE		Length (feet)	Invert		Slope (ft/ft)	Pipe Size (inch)	Pipe Material	Ground Elevation		Cover	
	Down	Up		Down	Up				Down	Up	Down	Up
PP-1	BED	PI-1	6.32	138.00	138.31	0.050	24	HPDE	142.50	142.85	2.50	2.54
PP-2	PI-1	PI-2	24.10	138.33	140.80	0.102	15	HPDE	142.85	143.17	3.27	1.13
PP-3	BED	PI-3	2.00	138.00	138.04	0.020	24	HPDE	145.00	145.20	5.00	5.16
PP-4	PI-1	PI-4	55.10	138.06	145.43	0.134	15	HPDE	145.20	147.80	5.89	1.13
PP-5	BED	PI-5	34.00	138.00	144.33	0.186	24	HPDE	148.50	148.00	8.50	1.67



* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION



PCSM PLAN SET LIST OF DRAWING

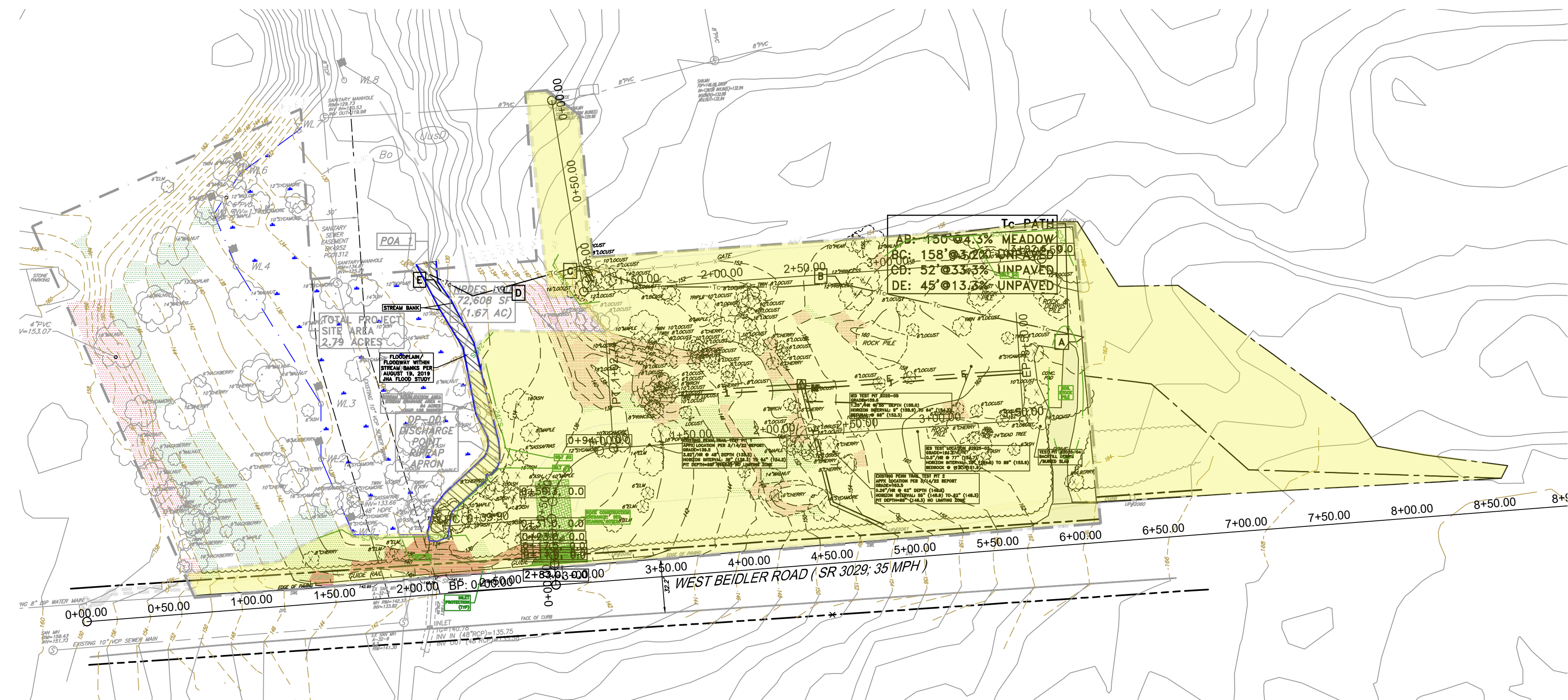
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PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM
LAND DEVELOPMENT PLAN / NPDES PLAN
PLAN PREPARED FOR:
PARKVIEW HOMES AT VALLEY FORGE, LLC
450 WEST BEIDLER ROAD, KING OF PRUSSIA
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA
18 AUG 2025

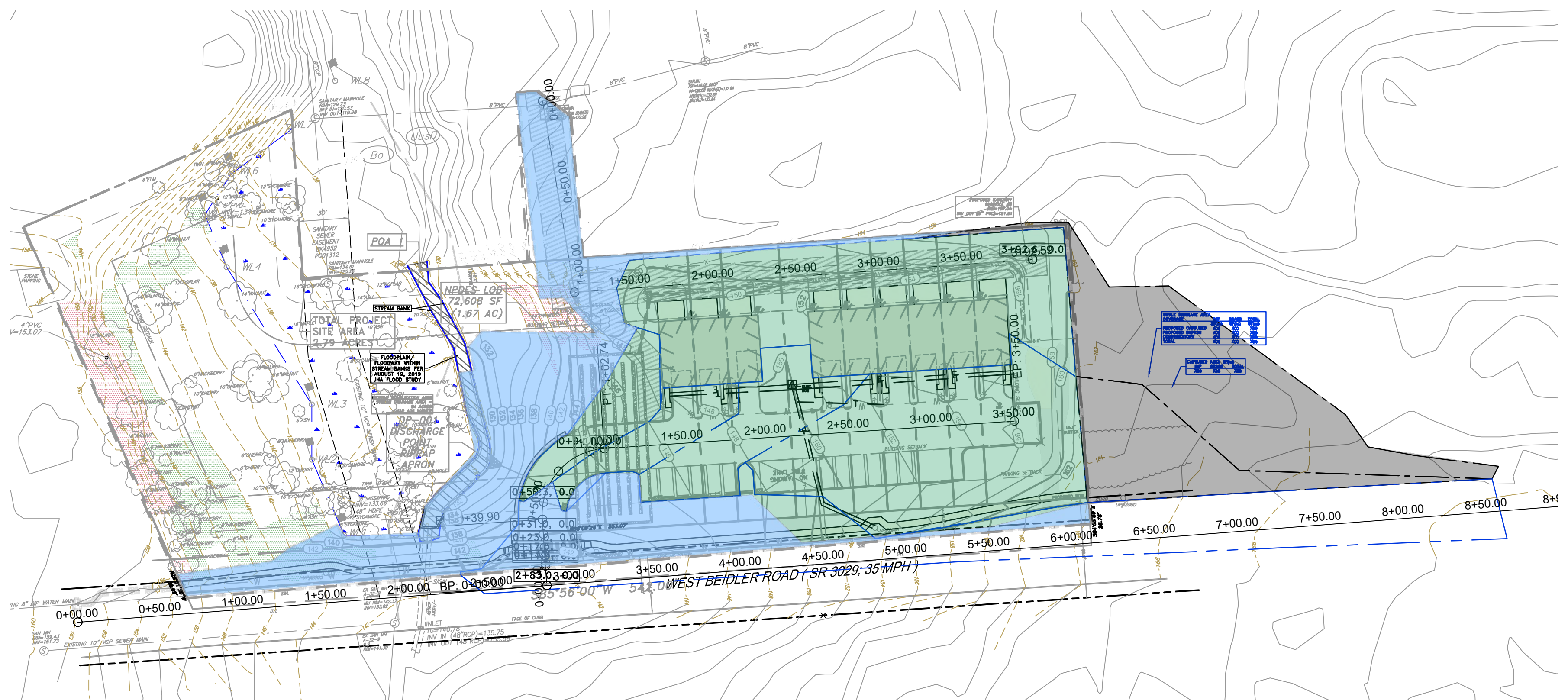
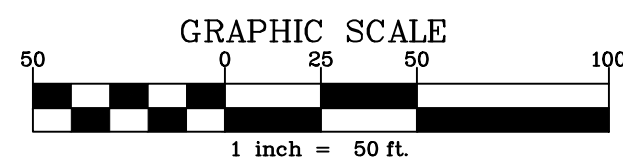
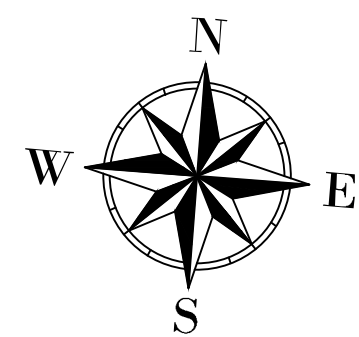
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

SHEET 5 of 19

NPDES PCSM PLAN SHEET 2 OF 4



PRE-DEVELOPMENT DRAINAGE MAP



POST-DEVELOPMENT DRAINAGE MAP

TR55 Tc Worksheet

Hydrflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

SITE

Description	A	B	C	Totals
Sheet Flow				
Manning's n-value	= 0.400	0.011	0.011	
Flow length (ft)	= 150.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 2.81	0.00	0.00	
Land slope (%)	= 4.30	0.00	0.00	
Travel Time (min)	= 23.34	+ 0.00	+ 0.00	= 23.34
Shallow Concentrated Flow				
Flow length (ft)	= 158.00	52.00	45.00	
Watercourse slope (%)	= 3.20	33.30	13.30	
Surface description	= Unpaved	Unpaved	Unpaved	
Average velocity (ft/s)	=2.89	9.31	5.88	
Travel Time (min)	= 0.91	+ 0.09	+ 0.13	= 1.13
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	((0))0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				24.50 min

DRAINAGE MAP LEGEND

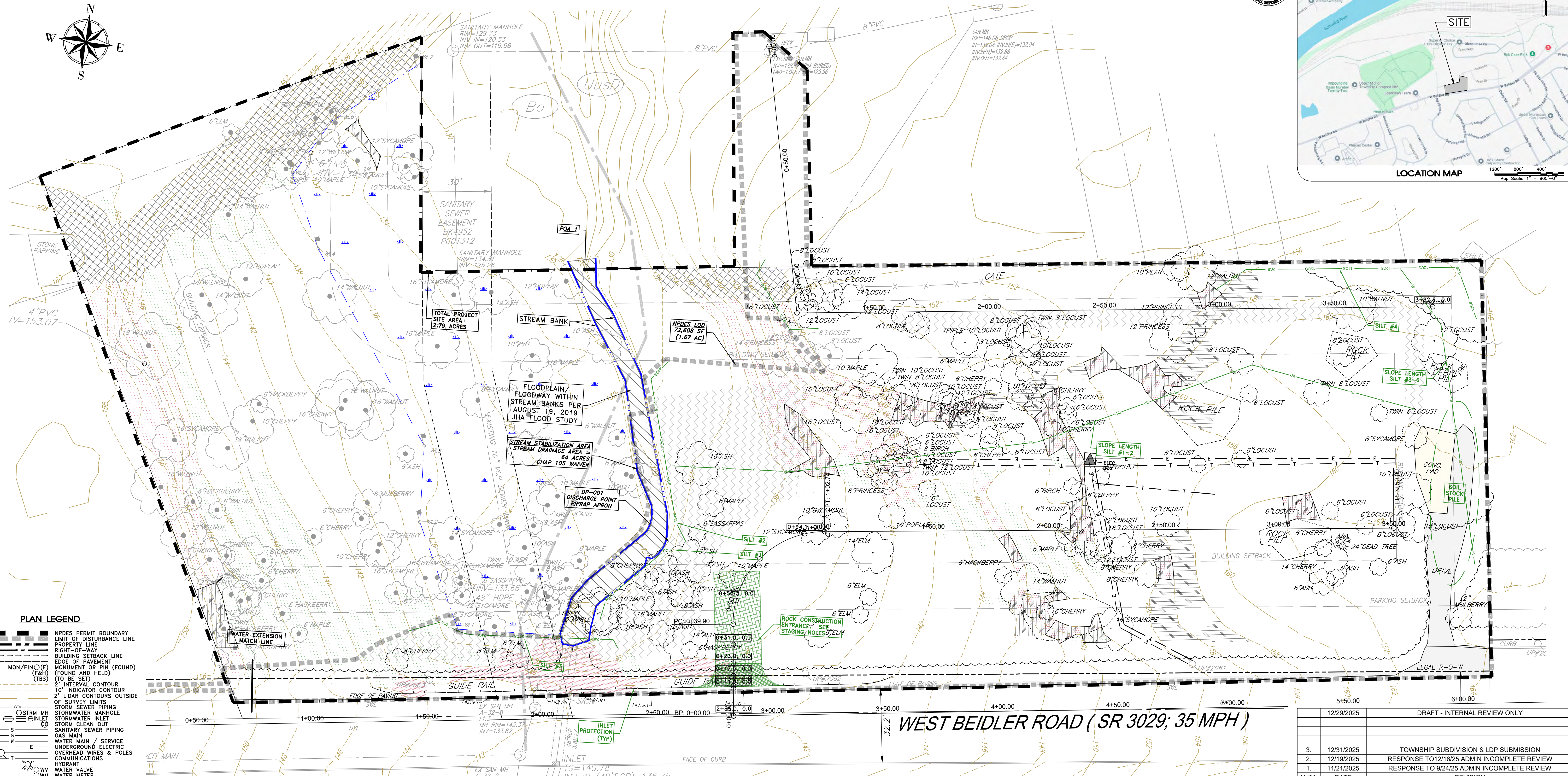
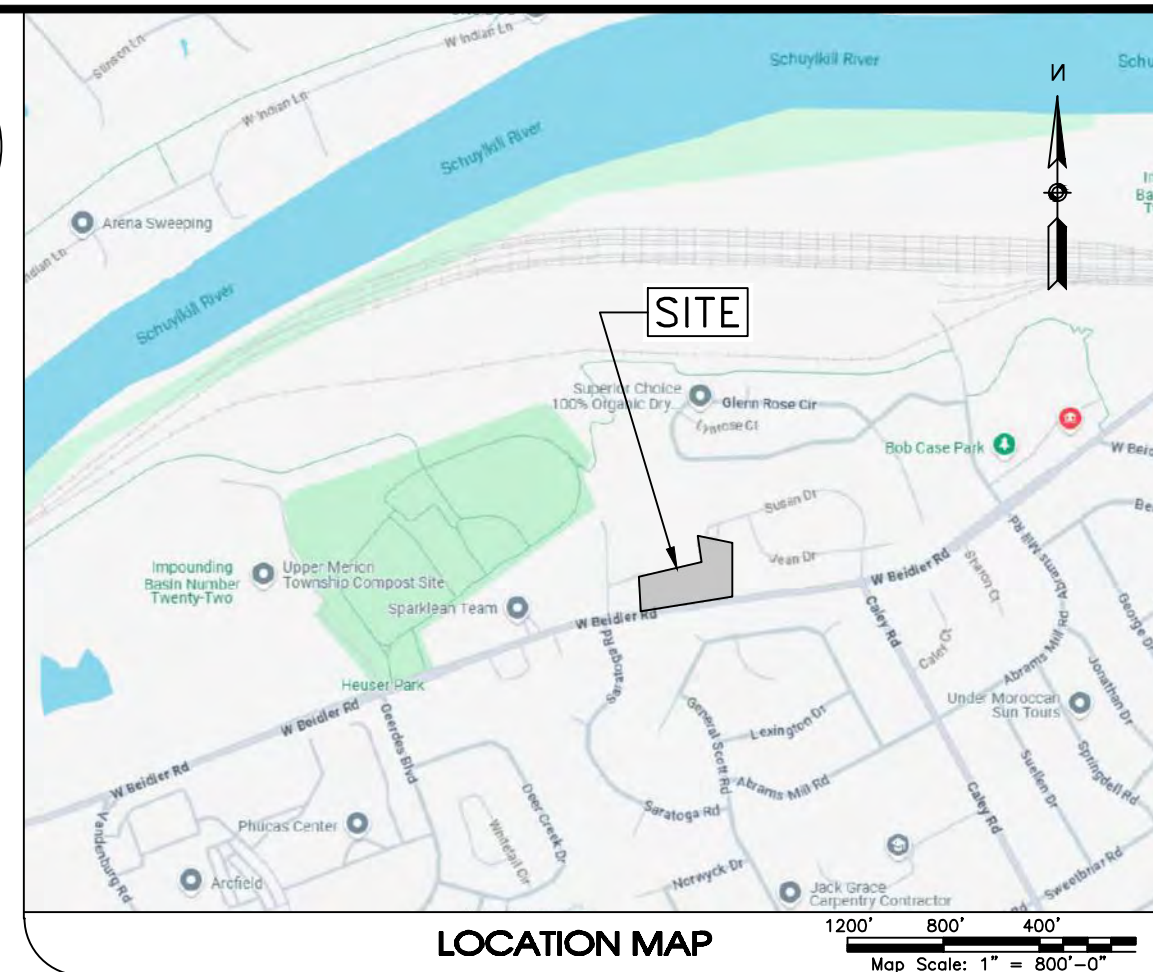
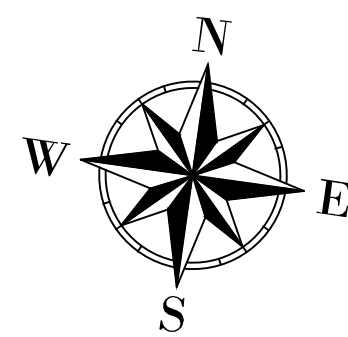
PLAN LEGEND

NPDES PERMIT BOUNDARY	NPDES LOD
LIMIT OF DISTURBANCE LINE	PROPERTY LINE
RIGHT-OF-WAY	BUILDING SETBACK LINE
FENCE LINE	MON/PIN (F&H) (TBS)
INTERVAL CONTOUR	PROPOSED INTERVAL
5' INDICATOR CONTOUR	PROPOSED INDICATOR
2' LIDAR CONTOURS OUTSIDE OF SURVEY LIMITS	STORM MH
STORM PIPING	STORMWATER MANHOLE
STORMWATER INLET	STORM CLEAN OUT
SANITARY SEWER PIPING	GAS MAIN
WATER MAIN / SERVICE	UNDERGROUND ELECTRIC
OVERHEAD WIRES & POLES	COMMUNICATIONS
HYDRANT	WATER VALVE
WATER METER	SANITARY VENT
SAN CO	SANITARY CLEAN OUT
SAN MH	SANITARY MANHOLE
QGM	GAS METER
OGV	GAS VALVE
BUILDINGS	PORCH / ROOF LINES
ASPHALT	WALKS & PADS
WALLS	EDGE OF LANDSCAPING
EDGE OF PAVEMENT	LIGHT POLE
SOIL BOUNDARY	& MAP SYMBOL

PCSM PLAN SET LIST OF DRAWING

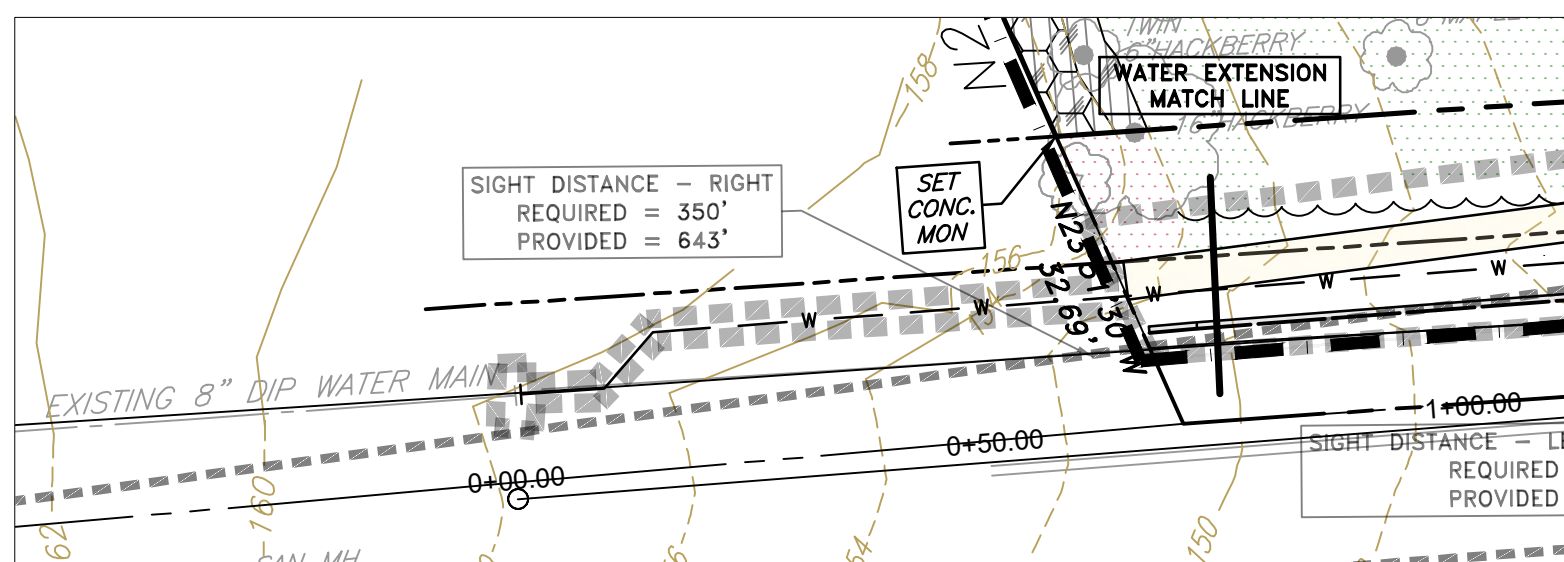
- SEE SHEET 4 FOR PCSM PLAN.
 - SEE SHEETS 5 FOR PCSM NOTES & DETAILS.
 - SEE SHEETS 6 FOR PCSM NOTES & ADDITIONAL DETAILS.
 - SEE SHEETS 7 FOR DRAINAGE AREA MAPS.
- REFERENCE:
SEE SHEETS 8 TO 12 FOR E&SC PLANS, NOTES, DETAILS AND SEQUENCING.
SEE NPDES AND TWP GRADING PERMIT CONDITIONS FOR ADDITIONAL REQUIREMENTS

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POST CONSTRUCTION		
STORMWATER		
MANAGEMENT DRAINAGE		
AREA MAPS		
18 AUG 2025		
SHEET		
7 of 19		
SCALE: 1" = 50'		

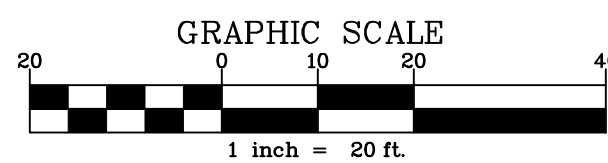


PLAN LEGEND	
[Symbol]	NPDES PERMIT BOUNDARY
[Symbol]	LIMIT OF DISTURBANCE LINE
[Symbol]	PROPERTY LINE
[Symbol]	RIGHT-OF-WAY
[Symbol]	BUILDING SETBACK LINE
[Symbol]	EDGE OF PAVEMENT
[Symbol]	MONUMENT OR PIN (FOUND)
[Symbol]	(TO BE SET)
[Symbol]	2" INTERVAL CONTOUR
[Symbol]	10' INTERVAL CONTOUR
[Symbol]	2" LIDAR CONTOURS OUTSIDE
[Symbol]	OF SURVEY LIMITS
[Symbol]	STORM SEWER PIPING
[Symbol]	STORMWATER MANHOLE
[Symbol]	STORMWATER INLET
[Symbol]	STORM CLEAN OUT
[Symbol]	SANITARY SEWER PIPING
[Symbol]	GAS MAIN
[Symbol]	WATER MAIN / SERVICE
[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	OVERHEAD WIRES & POLES
[Symbol]	COMMUNICATIONS
[Symbol]	HYDRANT
[Symbol]	WATER VALVE
[Symbol]	WATER METER
[Symbol]	SANITARY VENT
[Symbol]	SANITARY CLEAN OUT
[Symbol]	SANITARY MANHOLE
[Symbol]	GAS METER
[Symbol]	GAS VALVE
[Symbol]	BUILDINGS
[Symbol]	PORCH /
[Symbol]	ROOF LINES
[Symbol]	ASPHALT
[Symbol]	WALKS & PADS
[Symbol]	WALLS
[Symbol]	EDGE OF LANDSCAPING
[Symbol]	FENCE LINE
[Symbol]	LIGHT POLE
[Symbol]	NORTH AMERICAN GREEN VMX C350
[Symbol]	TURF REINFORCEMENT MATTING
[Symbol]	STREAM
[Symbol]	WETLANDS W/FLAGS
[Symbol]	FLOODWAY
[Symbol]	SLOPES, <15%
[Symbol]	SLOPES, 15-25%
[Symbol]	STEEP SLOPES, >25%
[Symbol]	NATURAL MAN-MADE
[Symbol]	OR <6" CHANGE

LEGEND - E & S CONTROL FEATURES	
[Symbol]	12" COMPOST SOCK
[Symbol]	24" COMPOST SOCK
[Symbol]	TREE PROTECTION FENCING
[Symbol]	EROSION MATTING
[Symbol]	ROCK CONSTRUCTION
[Symbol]	ENTRANCE
[Symbol]	SOIL BOUNDARY
[Symbol]	& MAP SYMBOL
[Symbol]	SLOPE LENGTH CALCULATION
[Symbol]	INLET PROTECTION



SOIL DATA 102.4(b)(5)(D)										
(PER WEB SOIL SURVEY, USDA, NRCS AS OF JULY 2020)										
MAP SYMBOL	SOIL NAME	% SLOPE	INCHES TO HIGH WATER	INCHES TO BEDROCK	LAND CAPABILITY	DRAINAGE CLASS	HSG	DWELLING W/BASEMENT	LAWNS	ROADS
Bo	BOWMANVILLE-KNAUERS	0-3	0-18	72 TO 99	3w/4w (NONIRRIQ)	POORLY	C/D	NR	NR	NR
UusD	URBAN LAND - UDDORTHERS	8-25	>80	22 TO 99	8s (NONIRRIQ)	WELL	B	NR	NR	NR
NL = NOT LISTED; NR = NOT RATED										
POSSIBLE SOIL LIMITATIONS PER PADEP E&S MANUAL APPENDIX E:										
-BOWMANVILLE: CUTBANKS CAVES; CORROSION STEEL/CONCRETE; FLOODING; HIGH WATER; HYDRIC; LOW STRENGTH; SLOW PERC; POOR TOPSOIL; FROST ACTION; WETNESS.										
-KNAUERS: CUTBANKS CAVES; CORROSION STEEL/CONCRETE; DROUGHTY; FLOODING; HIGH WATER; HYDRIC; LOW STRENGTH; SLOW PERC; POOR TOPSOIL; FROST ACTION; PONDING; WETNESS.										
-URBAN LAND: NOT LISTED.										
-UDDORTHERS: CUTBANKS CAVES; CORROSION STEEL/CONCRETE; DROUGHTY; EASILY ERODIBLE; LOW STRENGTH; SLOW PERC; POOR TOPSOIL; FROST ACTION.										
GEOTECHNICAL BORING WERE PERFORMED AND THE LIMITATIONS OF THE SOILS ARE INCLUDED IN FOUNDATION AND STORMWATER DESIGNS										



E&S PLAN SET LIST OF DRAWINGS
1. SEE SHEET 8 FOR E&S PLAN - EXISTING
2. SEE SHEET 9 FOR E&S PLAN - POST
3. SEE SHEET 10 FOR E&S NOTES & DETAILS
4. SEE SHEET 11 FOR E&S DETAILS
5. SEE SHEET 12 FOR STREAM STABILIZATION DETAILS
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450 WEST BEIDLER ROAD, KING OF PRUSSIA
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18 AUG 2025

EROSION & SEDIMENT CONTROL PLAN - EXISTING CONDITIONS

SHEET 8 of 19
SCALE: 1" = 20'



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FORGE, LLC*
450 WEST BEIDLER ROAD, KING OF PRUSSIA
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA
18 AUG 2025

EROSION & SEDIMENT CONTROL PLAN - POST CONDITIONS

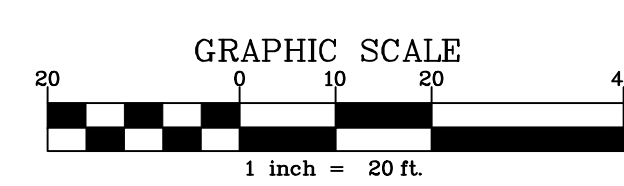
SOIL DATA 102.4.(b)(5)(D)												
(PER WEB SOIL SURVEY, USDA, NRCS AS OF JULY 2020)												
MAP SYMBOL	SOIL NAME	% SLOPE	INCHES TO HIGH WATER	INCHES TO BEDROCK	LAND CAPABILITY	DRAINAGE CLASS	HSG	DWELLING W/BASEMENT	LAWNS	ROADS	SEPTIC -DRIP	DEEP INFILTRATION
Bo	BOWMANSVILLE--KNAUERS	0-3	0-18	72 TO 99	3w/4w (NONIRRIC)	POORLY	C/D	NR	NR	NR	NR	NR
Uusd	URBAN LAND -- UDORTHERTS	8-25	>80	22 TO 99	8s (NONIRRIC)	WELL	B	NR	NR	NR	NR	NR

NL = NOT LISTED; NR = NOT RATED
POSSIBLE SOIL LIMITATIONS PER PADEP E&S MANUAL APPENDIX E:
--BOWMANSVILLE: SUBTANS CAVES; CORROSIVE STEEL/CONCRETE; FLOODING; HIGH WATER; HYDRIC, LOW STRENGTH; SLOW PERC; PIPING; POOR TPOOSL; FROST ACTION; WETNESS.
--KNAUERS: CUTOBKANS CAVES; CORROSIVE STEEL/CONCRETE; FLOODING; HIGH WATER; HYDRIC, LOW STRENGTH; SLOW PERC; POOR TPOOSL; FROST ACTION; PONDING; WETNESS.
--URBAN SOIL: NOT LISTED
--UDORTHERTS: CUTOBKANS CAVES; CORROSIVE STEEL/CONCRETE; DROUGHTY; EASILY ERODIBLE; LOW STRENGTH; SLOW PERC; POOR TPOOSL; FROST ACTION.
GEOTECHNICAL BORING WERE PERFORMED AND THE LIMITATIONS OF THE SOILS ARE INCLUDED IN FOUNDATION AND STORMWATER DESIGNS

E&S PLAN SET LIST OF DRAWINGS

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2. SEE SHEET 9 FOR E&S PLAN - POST
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4. SEE SHEET 11 FOR E&S DETAILS.
5. SEE SHEET 12 FOR STREAM STABILIZATION DET

SEE NPDES AND TWP GRADING PERMIT CONDITIONS
ADDITIONAL REQUIREMENTS



TOPSOIL NOTES

1. CONSIST OF FRIABLE LOAM SURFACE SOIL.
2. REASONABLY FREE OF SUPERFICIAL CLAY LUMPS, BRUSH, ROOTS, WEEDS, AND/OR STONES AND OTHER FOREIGN MATERIALS LARGER THAN 2 INCHES IN DIAMETER.
3. THE TOPSOIL SHALL CONSIST OF LOAM, WITH SOIL PARTICLES WITHIN THE FOLLOWING PERCENTAGES:
 - 3.1. SAND: 5-70;
 - 3.2. SILT: 10-70;
 - 3.3. CLAY: 5-36;
 - 3.4. DECOMPOSED ORGANIC MATTER: 2-10.
4. BETWEEN PH 5.0 TO PH 7.0.
5. SOIL SALINITY SHALL NOT EXCEED 3 MILLIMHOS PER CENTIMETER AT 25 DEGREES C.

SEEDING & MULCHING NOTES

1. ANY DISTURBED AREA ON WHICH CONSTRUCTION ACTIVITY HAS CEASED MUST BE IMMEDIATELY SEEDED AND MULCHED. DURING NON-GERMINATION PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE (1) YEAR SHALL BE IMMEDIATELY MULCHED AND SEEDED WITH A QUICK-GROWING TEMPORARY SEED MIXTURE. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE IMMEDIATELY MULCHED AND SEEDED WITH THE PERMANENT SEED MIXTURE.
2. APPLY 6" OF UNCOMPACTED TOPSOIL TO VEGETATION AREAS PRIOR TO SEEDING.
3. DIVERSIONS, CHANNELS, SWALES, SEDIMENT BASINS, SEDIMENT TRAPS AND SOIL STOCKPILES SHALL BE SEEDED AND MULCHED IMMEDIATELY.
4. AREAS UTILIZING VEGETATIVE STABILIZATION MUST BE SEEDED AND MULCHED WITHIN THE APRIL 15th TO OCTOBER 15th GERMINATION WINDOW. SEEDING WILL BE ACCOMPLISHED THROUGH HYDROSEEDING OR CONVENTIONAL SEEDING METHODS.
5. GEOTEXTILE EROSION CONTROL CHANNEL LINING AND SLOPE PROTECTION SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS IMMEDIATELY UPON THE COMPLETION OF GRADING ACTIVITIES.

CLEAN FILL & DUE DILIGENCE NOTES

IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE APPLICANT AND CO-APPLICANT (IF ANY).

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE WITHIN THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST FIRST CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM.

REPORTING AND RECORD KEEPING

THE E&S PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE TOWNSHIP, PaDEP OR THE LOCAL COUNTY CONSERVATION DISTRICT.

RECYCLING AND DISPOSAL

CONSTRUCTION WASTE TO CONSIST OF TYPICAL BUILDING MATERIALS. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS ACT 25 PA CODE 260.1, ET SEQ 271.1 ET SEQ, AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTE AT THE SITE.

TEMPORARY SEED AND MULCHING SPECIFICATIONS

SPECIES (95% PURITY):	LBS/ACRE:
FOR SPRING SEEDING (UP TO JUNE 15)	
ANNUAL RYEGRASS	40
OR SPRING OATS	96 (3 BU)
OR SPRING OATS PLUS RYEGRASS	64 LBS OATS (2 BU) +
	20 LBS ANNUAL OR PERENNIAL RYEGRASS
OR WINTER WHEAT	180 (3 BU)
OR WINTER RYE	168 (3 BU)
FOR LATE SPRING & SUMMER SEEDING (JUNE 16 TO AUGUST 15)	
ANNUAL RYEGRASS	40
OR JAPANESE OR FOXTAIL MILLET	35
OR SUDANGRASS	40
OR SPRING OATS	96 (3 BU)
OR WINTER WHEAT	180 (3 BU)
OR WINTER RYE	168 (3 BU)
FOR LATE SUMMER & FALL SEEDING (AUGUST 16 AND LATER)	
ANNUAL RYEGRASS	40
OR WINTER RYE	168 (3 BU)
OR WINTER WHEAT	180 (3 BU)
OR SPRING OATS	96
(CAN BE USED BUT WILL WINTER KILL)	

PREP: APPLY 1 TON OF AGRICULTURAL-GRADE LIMESTONE PER ACRE PLUS 5-5-5 FERTILIZER AT THE RATE OF 1000 LBS PER ACRE. WORK INTO THE SOIL. WHERE POSSIBLE SECURE A SOIL TEST BEFORE APPLICATION OF PERMANENT SEEDING.

SEED: ALL SEED SHALL BE FRESH. ALL NEW CROP SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN EFFECT ON THE DATE OF INVITATION FOR BIDS. ALL SEED SHALL BE FURNISHED IN SCALE STANDARD TO KIND, PERCENT BY WEIGHT, PURITY AND GERMINATION. THE GRASS SEED SHALL CONTAIN THE PERCENTAGES OF PURITY AND GERMINATION INDICATED ON THE LIST FURNISHED WITH THE APPLICABLE PLAN.

MULCH: SHALL BE HAY WHICH IS FREE OF WEEDS AND SEEDS, NOT MOLDY OR ROTTEN, AND SHALL BE APPLIED TO ALL AREAS AT A RATE OF 3 TONS PER ACRE. ON STEEP SLOPE AREAS (GREATER THAN 3:1), COVER SEEDED AREAS WITH AN ACCEPTABLE GEOTEXTILE EROSION CONTROL BLANKET.

PERMANENT SEED AND MULCHING SPECIFICATIONS

SPECIES	PARTS BY PERCENT		
	WEIGHT	PURITY	GERMINATION
KENTUCKY BLUE GRASS	33%	95%	85%
(VERIFY AVAILABLE VARIETIES WITH INSPECTOR AT TIME OF PLANTING)			
PERENNIAL RYEGRASS	33%	95%	85%
ANNUAL RYEGRASS	33%	95%	85%

PREP: APPLY 3 TON OF AGRICULTURAL-GRADE LIMESTONE PER ACRE PLUS 10-20-10 FERTILIZER AT THE RATE OF 1000 LBS PER ACRE. WORK INTO THE SOIL WHERE POSSIBLE.

SOD: KENTUCKY BLUEGRASS SOD (IF CALLED FOR) SHALL BE FURNISHED BY THE MANUFACTURER. SOD SHALL BE GROWN UNDER THE SUPERVISION OF THE PENNSYLVANIA DEPARTMENT OF AGRICULTURE BUREAU OF PLANT INDUSTRY OR SHALL BE COMPOSED OF ONLY BLUE TAC CERTIFIED SEED.

SEED: ALL SEED SHALL BE FRESH. ALL NEW CROP SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN EFFECT ON THE DATE OF INVITATION FOR BIDS. ALL SEED SHALL BE FURNISHED IN SCALE STANDARD TO KIND, PERCENT BY WEIGHT, PURITY AND GERMINATION. THE GRASS SEED SHALL CONTAIN THE PERCENTAGES OF PURITY AND GERMINATION INDICATED ON THE LIST FURNISHED WITH THE APPLICABLE PLAN. SEED MIX SHALL BE AS SPECIFIED, SPREAD AT THE RATE OF 5 POUNDS PER 1,000 SQUARE FEET (MINIMUM). FOR SLOPE 3:1 OR GREATER, USE 7.5 POUNDS OF SEED PER 1,000 SQUARE FEET.

MULCH: SHALL BE HAY WHICH IS FREE OF WEEDS AND SEEDS, NOT MOLDY OR ROTTEN, AND SHALL BE APPLIED TO ALL AREAS AT A RATE OF 3 TONS PER ACRE. ON STEEP SLOPE AREAS (GREATER THAN 3:1), COVER SEEDED AREAS WITH AN ACCEPTABLE GEOTEXTILE EROSION CONTROL BLANKET.

STANDARD E&S NOTES (PA E&S MANUAL, APPENDIX C)

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION. IF THOSE CHANGES, THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE TOWNSHIP AND LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS.
9. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE TOWNSHIP AND LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
11. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, OR DISCHARGED AT THE SITE.
12. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE TOWNSHIP AND LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
13. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
14. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE TO FILTER BAGS ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN.
15. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY WITHOUT TRAVERSING A ROCK CONSTRUCTION ENTRANCE.
16. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT (>0.25") AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGROADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
17. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT ALL TIMES FOR INSPECTION.
18. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
19. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
20. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES DEPENDENT ON COMPACTED OR PLACED TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
21. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
22. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
23. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
24. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
25. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
26. SEEDS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
27. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER OR OTHER DISTURBED AREA SHOWN ON THE PLAN DRAWINGS SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
28. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING PERIODS, WITH MULCH OR PROTECTIVE BLANKETING. MULCH SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
29. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
30. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE TOWNSHIP AND LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE TOWNSHIP AND LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
32. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
33. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE TOWNSHIP AND LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
34. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
35. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
36. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
37. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 8" LAYERED LIFT AT 95% DENSITY.
38. TO MEET ABACT REQUIREMENTS FOR THE NPDES GENERAL PERMIT, STREET SWEEPING WITH A VACUUM SWEEPER OF ALLEYS/ROADWAYS ADJACENT TO ACTIVE PORTIONS OF THE CONSTRUCTION SITE MUST BE PERFORMED AT THE END OF EACH WORK DAY (OR MORE FREQUENTLY AS NEEDED). TOWNSHIP STAFF SHALL HAVE THE RIGHT TO ORDER STREET CLEANING MORE OFTEN IF THERE IS EVIDENCE OF CONSTRUCTION RELATED DEBRIS IN THE ROADWAY DURING THE PROJECT.

ADDITIONAL NOTES

1. EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
2. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs SHALL BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
3. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY WITHOUT TRAVERSING A ROCK CONSTRUCTION ENTRANCE.
4. ALL SLOPES 4:1 OR STEEPER MUST UTILIZE EROSION CONTROL BLANKET (ECB) AND SEED OR SOD FOR STABILIZATION.
5. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGROADING, RESEEDING, REMULCHING AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
6. WHERE BMPs ARE FOUND TO FAIL TO ALLEVIATE EROSION AND SEDIMENT POLLUTION THE PERMITTEE OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING:
 - A. THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION
 - B. ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE.
 - C. THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE UPHILL SIDE OF THE TRENCH AND BACKFILLING AND STABILIZING WITHIN THE SAME WORK DAY.
11. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL, RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
12. THE NPDES BOUNDARY IS EQUAL TO THE OUTER PERIMETER BOUNDARY OF THE SITE, AND ANY OFF-SITE AREAS WITHIN THE LIMITS OF DISTURBANCE THAT ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL INCLUDING OFF-SITE FACILITIES SUCH AS UTILITIES AND ROADWAY IMPROVEMENTS.
13. RUNOFF CROSSING TO THE ADJACENT PROPERTY DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE MAINTAINED SO THAT THE WATER QUALITY/QUANTITY IMPACT IS MINIMIZED TO THE ADJACENT PROPERTY. DIVERSION BERMS, STONED STAGING AREAS, AND INLETS/PIPING SHALL BE PROVIDED AS NEEDED TO INSURE ACCEPTABLE CONDITIONS DURING CONSTRUCTION.
14. GRADING AND EARTHMOVING OPERATIONS SHALL BE MINIMIZED DURING THE PERIOD FROM NOVEMBER 15 TO APRIL WHEN RE-VEGETATION OF THE DISTURBED AREAS IS DIFFICULT. MULCH, STRAW, STONE AND/OR SOD SHALL BE USED TO STABILIZE ALL AREAS DENuded DURING THIS TIME PERIOD.
15. E&S CONTROL FOR TRENCH CONSTRUCTION WILL CONSIST OF PLACING EXCAVATED MATERIAL ON THE UPHILL SIDE OF THE TRENCH AND BACKFILLING AND STABILIZING WITHIN THE SAME WORK DAY.
16. NO GRADING SHALL BE PERMITTED WITHIN 5' OF A PROPERTY BOUNDARY.
17. RETAINING WALLS AND STEPS SHALL COMPLY WITH THE APPLICABLE BUILDING CODES REGARDING SEDIMENT POLLUTION AND NOTIFY THE TOWNSHIP AND LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
18. THE ARCHITECTURAL PLANS MUST BE COORDINATED WITH BUILDING HEIGHT CALCULATION AND MUST COMPLY WITH THE GRADING PROPOSED BY THIS PERMIT PLAN.
19. CONTRACTOR MUST OBTAIN A HIGHWAY PERMIT TO WORK WITHIN THE TOWNSHIP RIGHT-OF-WAY.
20. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON SITE OR AT REMOTE SITE NOT IN THE NEIGHBORHOOD. NO CONSTRUCTION-RELATED VEHICLES MAY PARK ON THE STREET. THIS INCLUDES PERSONAL VEHICLES OPERATED BY CONSTRUCTION WORKERS OR VEHICLES OPERATED FOR CONSTRUCTION OF CONCRETE WORK, MATERIAL SUPPLIERS, PRODUCT VENDORS, AND ALL CONSTRUCTION TRADES ENGAGED IN THE PROJECT.
21. THE APPLICANT SHALL CONDUCT REGULAR STREET CLEANING OF ALL ROADWAYS ADJACENT TO ACTIVE PORTIONS OF THE CONSTRUCTION SITE. STAFF SHALL HAVE THE RIGHT TO ORDER STREET CLEANING MORE OFTEN IF THERE IS EVIDENCE OF CONSTRUCTION RELATED DEBRIS IN THE ROADWAY DURING THE PROJECT.

CULVERT EXTENSION CONSTRUCTION SEQUENCE

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE LANDOWNER, THE DESIGNATED LICENSED DESIGN PROFESSIONAL (PREPARER OF E&S PLAN AND PCSM PLAN), ALL APPROPRIATE MUNICIPAL OFFICIALS, AND A REPRESENTATIVE FROM THE MONTGOMERY COUNTY CONSERVATION DISTRICT FOR AN ON-SITE PRE-CONSTRUCTION MEETING.

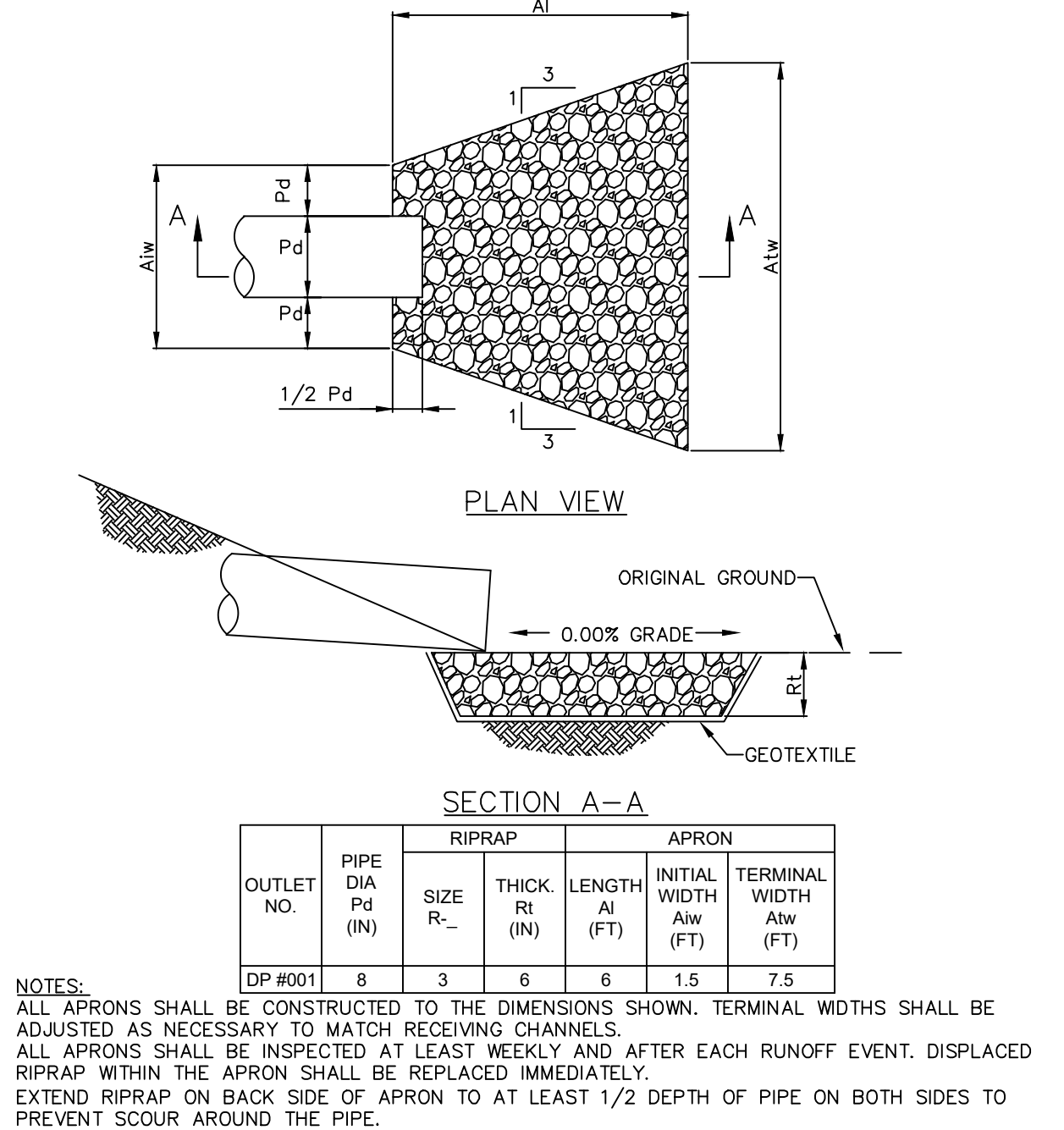
THE TOWNSHIP ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO THE START OF EARTH MOVING ACTIVITIES AND ALL REQUIRED INSPECTIONS.

CESSATION OF DISTURBANCE ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.

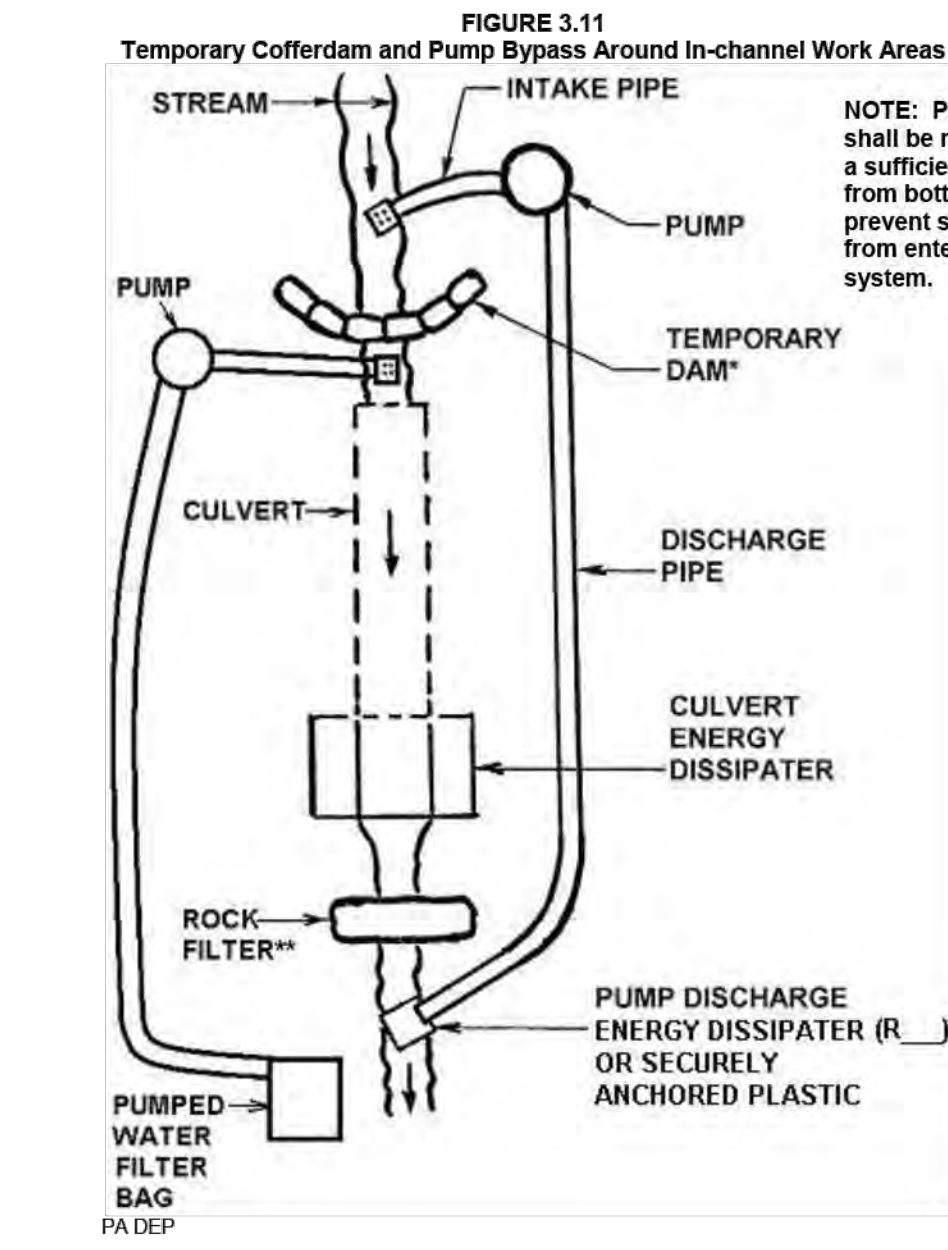
1. THE LIMIT OF DISTURBANCE SHALL BE MARKED BY SURVEY STAKES, POSTS & ROPE, OR CONSTRUCTION FENCING PRIOR TO DISTURBANCE ACTIVITIES.
2. INSTALL SILT BARRIER AND PUMP DISCHARGE ROCK FILTER.
3. INSTALL COFFER DAM AND DEWATER CULVERT SITE.
4. INSTALL CULVERT EXTENSION.
5. INSTALL PRE-CAST ENDWALL SECTIONS.
6. INSTALL FIELD-POURED CONCRETE APRON.
7. INSTALL STREET INLET 1-10 15" HOPES PIPE.
8. INSTALL COIR LOGS.
9. UPON THE COMPLETION, IMMEDIATELY STABILIZE STREAM BANKS WITH TOPSOIL, PERMANENT SEED MIXTURE AS PRESCRIBED AND EROSION MATTING.
10. REMOVE EROSION AND SEDIMENT CONTROL MEASURES ONCE TRIBUTARY AREAS ARE FULLY STABILIZED. IMMEDIATELY STABILIZE ANY REMAINING DISTURBED AREAS AND AREAS DISTURBED BY THE REMOVAL OF EROSION CONTROL FACILITIES WITH THE PERMANENT SEED MIXTURE, MULCH AT 3 TONS/ACRE AND LIME AS PRESCRIBED OR EROSION MATTING AS REQUIRED PER PLAN NOTES.
11. CRITICAL STAGE: UPON COMPLETION OF ALL CONSTRUCTION, A NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT.

ANTICIPATED START OF CONSTRUCTION - FALL 2026

ANTICIPATED COMPLETION OF CONSTRUCTION - FALL 2026

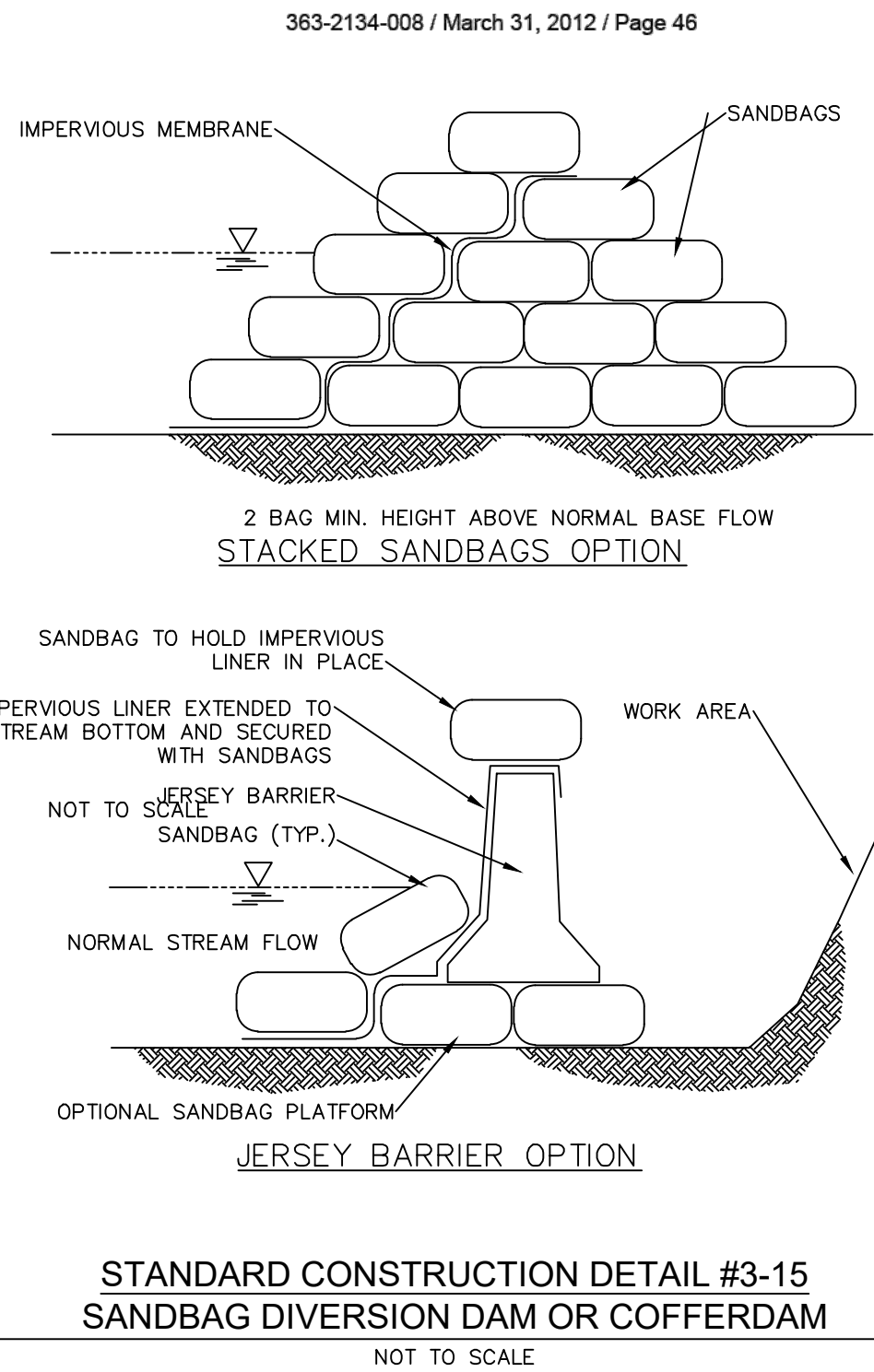


STANDARD CONSTRUCTION DETAIL #9-2
RIPRAP APRON AT PIPE OUTLET
NO FLARED ENDWALL



* Sandbags (Standard Construction Detail #3-15), Jersey barriers (Figure 3.13) or other non-erosive material, no earth fill. Do not excavate a sump for the pump intake.

** See Standard Construction Detail # 4-14. For low gradient channels, the rock filter may be replaced by an impervious cofferdam to prevent backflow into the work area.



STANDARD CONSTRUCTION DETAIL #3-15
SANDBAG DIVERSION DAM OR COFFERDAM
NOT TO SCALE

CONSTRUCTION SEQUENCE

NOTE: A QUALIFIED LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT AT THE SITE TO OBSERVE CRITICAL STAGES. CRITICAL STAGES ARE UNDERLINED IN THE CONSTRUCTION SEQUENCE BELOW. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER WHEN THE UNDERLINED STAGES ARE SCHEDULED.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE LANDOWNER, THE DESIGNATED LICENSED DESIGN PROFESSIONAL (PREPARER OF E&S PLAN AND PCSM PLAN), ALL APPROPRIATE MUNICIPAL OFFICIALS, AND A REPRESENTATIVE FROM THE MONTGOMERY COUNTY CONSERVATION DISTRICT FOR AN ON-SITE PRE-CONSTRUCTION MEETING.

THE TOWNSHIP ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO THE START OF EARTH MOVING ACTIVITIES AND ALL REQUIRED INSPECTIONS.

TO MEET ABACT REQUIREMENTS FOR THE NPDES GENERAL PERMIT, STREET SWEEPING WITH A VACUUM SWEEPER MUST BE PERFORMED AT THE END OF EACH WORK DAY (OR MORE FREQUENTLY AS NEEDED). TOWNSHIP STAFF SHALL HAVE THE RIGHT TO ORDER STREET CLEANING MORE OFTEN IF THERE IS EVIDENCE OF CONSTRUCTION RELATED DEBRIS IN THE ROADWAY DURING THE PROJECT.

1. THE LIMIT OF DISTURBANCE SHALL BE MARKED BY SURVEY STAKES, POSTS & ROPE, OR CONSTRUCTION FENCING PRIOR TO DISTURBANCE ACTIVITIES.
2. INSTALL ROCK CONSTRUCTION ENTRANCE, BMP #1 PROTECTION FENCING AND SILT BARRIERS.
3. REMOVE TREES AS NEEDED IF WITHIN THE ALLOWABLE TIME PERIOD. DO NOT REMOVE TREES BETWEEN MAY 15 AND AUGUST 15 PER THE DISTURBANCE MEASUREMENTS REQUIRED BY THE US FISH AND WILDLIFE SERVICES' RESPONSE ON THE 9/24/2024 PNDI RECEIPT.
4. INSTALL CONCRETE WASH.
5. ROUGH GRADE AND INSTALL EROSION MATTING PER THE DETAILS AND NOTES.
6. BEGIN CONSTRUCTION OF BUILDINGS, DRIVEWAY AND ASSOCIATED STORMWATER INLETS AND CONVEYANCE PIPING PER THE PLANS, NOTES AND DETAILS.
7. STABILIZE DRIVEWAY UP TO GUEST COUNTER WITH BASECOURSE. RELOCATE RCE.
8. INSTALL INLET PROTECTION ON ALL INLETS UNTIL CONTRIBUTING AREAS ARE STABILIZED PER THE SEQUENCE BELOW.
9. CRITICAL STAGE: CONSTRUCT INFILTRATION BED SMC #001 PER THE PLANS, NOTES AND DETAILS. CRITICAL OBSERVATION BY QUALIFIED LICENSED PROFESSIONAL:
 - 9.1. BED BOTTOM AT DESIGN DEPTH, LEVEL AND UNCOMPACTED.
 - 9.2. BED FOOTPRINT DIMENSIONS: STONE, PIPE & GEOTEXTILE MATERIAL PLACED.
 - 9.3. OUTLET STRUCTURE WITH DISCHARGE CONTROL(S) SIZED PER DESIGN.
10. STAGE CONSTRUCTION OF STORMWATER INFILTRATION BED IN SUCH A WAY THAT NO SEDIMENT ENTERS THE BED. CLEAN WASHED STONE SHALL BE USED TO CONSTRUCT BED. IF SEDIMENT ENTERS STONE SHALL BE REPLACED AND THE GEOTEXTILE FABRIC SHALL BE CLEANED OR REPLACED AS NECESSARY. NO FLOW SHALL ENTER BEDS FROM ANY AREAS THAT ARE NOT AT LEAST 70% STABILIZED WITH A UNIFORM VEGETATIVE COVER OR FULLY PROTECTED WITH INLET PROTECTION.
11. CRITICAL STAGE: ONCE THE ENTIRE CONTRIBUTORY AREA TO THE DRIVE INFILTRATION BED BMP#1 HAS BEEN FULLY STABILIZED, REMOVE INLET PROTECTION AND PUT BASIN ON-LINE. IF SEDIMENT ENTERS SURFACE WATER, STONE SHALL BE REPLACED AND THE GEOTEXTILE FABRIC SHALL BE CLEANED OR REPLACED AS NECESSARY. NO FLOW SHALL ENTER BEDS FROM ANY AREAS THAT ARE NOT AT LEAST 70% STABILIZED WITH A UNIFORM VEGETATIVE COVER OR FULLY PROTECTED WITH INLET PROTECTION.
12. UPON THE COMPLETION OF INFILTRATION BED INSTALLATION TO FINAL GRADES, IMMEDIATELY STABILIZE DORMANT DISTURBED AREAS WITH THE PERMANENT SEED MIXTURE, MULCH AT 3 TONS PER ACRE AND LIME AS PRESCRIBED OR EROSION MATTING AS REQUIRED PER PLAN NOTES.
13. CONTINUE CONSTRUCTION OF IMPROVEMENTS. UPON THE COMPLETION OF FINAL GRADING IN ANY AREA, IMMEDIATELY STABILIZE DORMANT DISTURBED AREAS WITH THE PERMANENT SEED MIXTURE, MULCH AT 3 TONS PER ACRE AND LIME AS PRESCRIBED OR EROSION MATTING AS REQUIRED PER PLAN NOTES.
14. CONNECT PERMANENT DISCHARGE PIPING FROM SMC #001 TO DISCHARGE APRON DP-001.
15. STABILIZE SED TRAP#1 CONTRIBUTORY AREA WITH PERMANENT COVER AS SHOWN ON PLANS. REMOVE DIVERSION CONVEYANCE PIPING PER THE PLANS, NOTES AND DETAILS. ONCE ENTIRE SITE IS AT LEAST 70% STABILIZED TO PREPARE FOR BMP#2 INSTALLATION.
16. REMOVE EROSION AND SEDIMENT CONTROL MEASURES ONCE TRIBUTARY AREAS ARE FULLY STABILIZED. IMMEDIATELY STABILIZE ANY REMAINING DISTURBED AREAS AND AREAS DISTURBED BY THE REMOVAL OF EROSION CONTROL FACILITIES WITH THE PERMANENT SEED MIXTURE, MULCH AT 3 TONS/ACRE AND LIME AS PRESCRIBED OR EROSION MATTING AS REQUIRED PER PLAN NOTES.
17. CRITICAL STAGE: UPON COMPLETION OF ALL CONSTRUCTION, A NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT.

ANTICIPATED START OF CONSTRUCTION - SPRING 2026

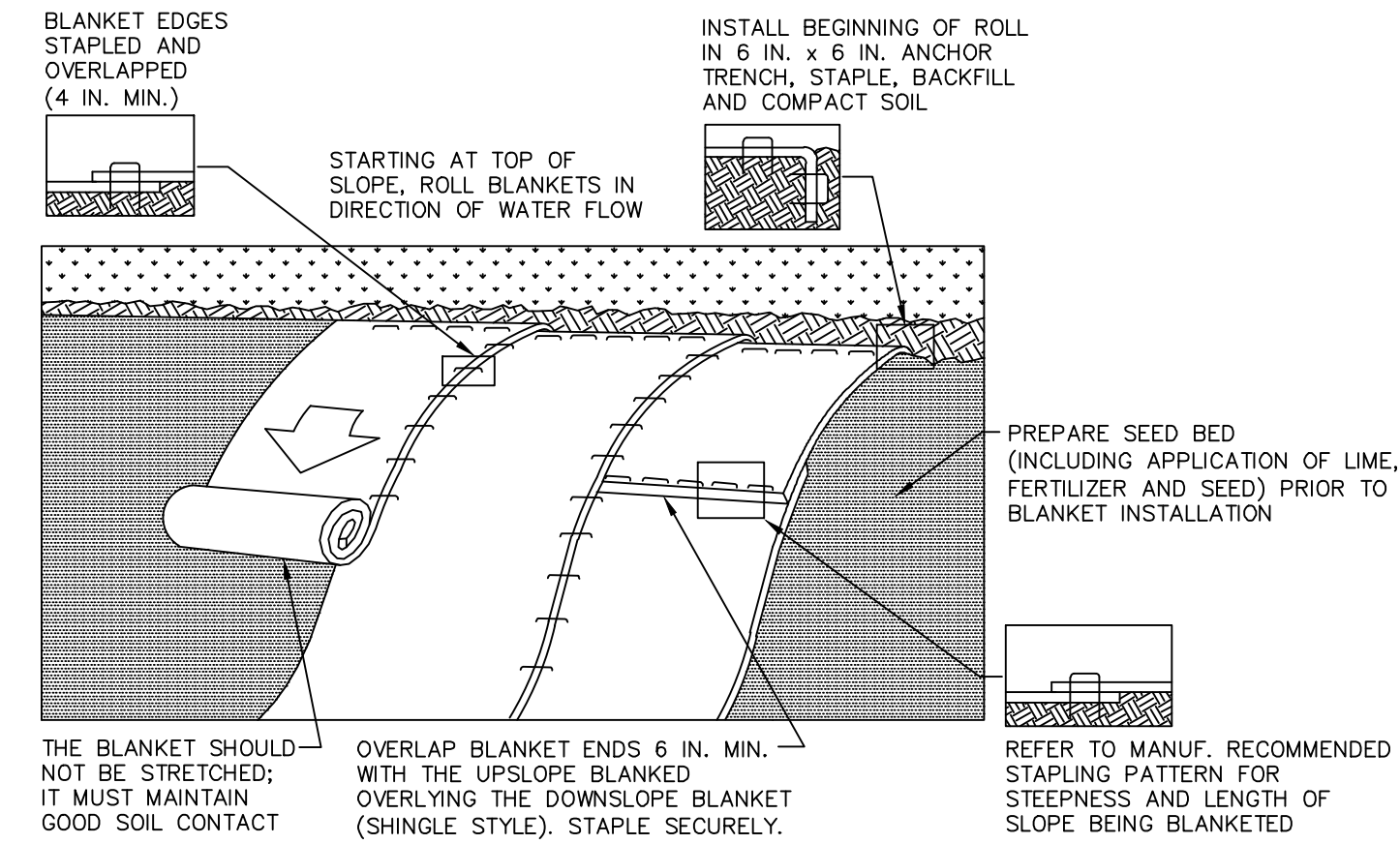
ANTICIPATED COMPLETION OF CONSTRUCTION - WINTER 2027

NATURAL RESOURCES NOTES

1. STORMWATER ULTIMATELY DISCHARGES TO THE SCHUYLKILL RIVER VIA UNT.
2. NO WETLANDS CURRENTLY EXIST IN LIMIT OF DISTURBANCE AREA. EXISTING WETLANDS ARE LOCATED TO THE WEST OF THE PROJECT SITE AND ARE DELINEATED BY THE NPDES PERMIT. DATE OF SURVEY: NOVEMBER 2018.
3. THERE ARE NO HQ / EV WATERSHEDS NEAR PROJECT SITE.
4. ALL STORMWATER FLOWS TOWARDS POINT OF INTEREST #1, SCHUYLKILL RIVER.
5. NO RIPARIAN BUFFERS EXIST AT PROJECT SITE.
6. FLOODPLAIN/FLOODWAY DELINEATION PER "FLDOD STUDY", PREPARE FOR 450 W BEIDLER ROAD, PREPARE BY JHA COMPANIES, DATED AUGUST 8, 2019.

E&SC PLAN SET LIST OF DRAWINGS

1.	SEE SHEET 8 FOR E&SC PLAN - EXISTING	
2.	SEE SHEET 9 FOR E&SC PLAN - POST	
3.	SEE SHEET 10 FOR E&SC NOTES & DETAILS	
4.	SEE SHEET 11 FOR E&SC DETAILS.	
5.	SEE SHEET 12 FOR STREAM STABILIZATION DETAILS	
SEE NOTES AND TWP GRADING PERMIT CONDITIONS FOR ADDITIONAL REQUIREMENTS		
	12/29/2025	DRAFT - INTERNAL REVIEW ONLY
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2.	12/19/2025	RESPONSE TO12/16/25 ADMIN INCOMPLETE REVIEW
1.	11/21/2025	RESPONSE TO 9/24/25 ADMIN INCOMPLETE REVIEW
NUM.	DATE	REVISION



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLDS, STICKS, AND GRASS.

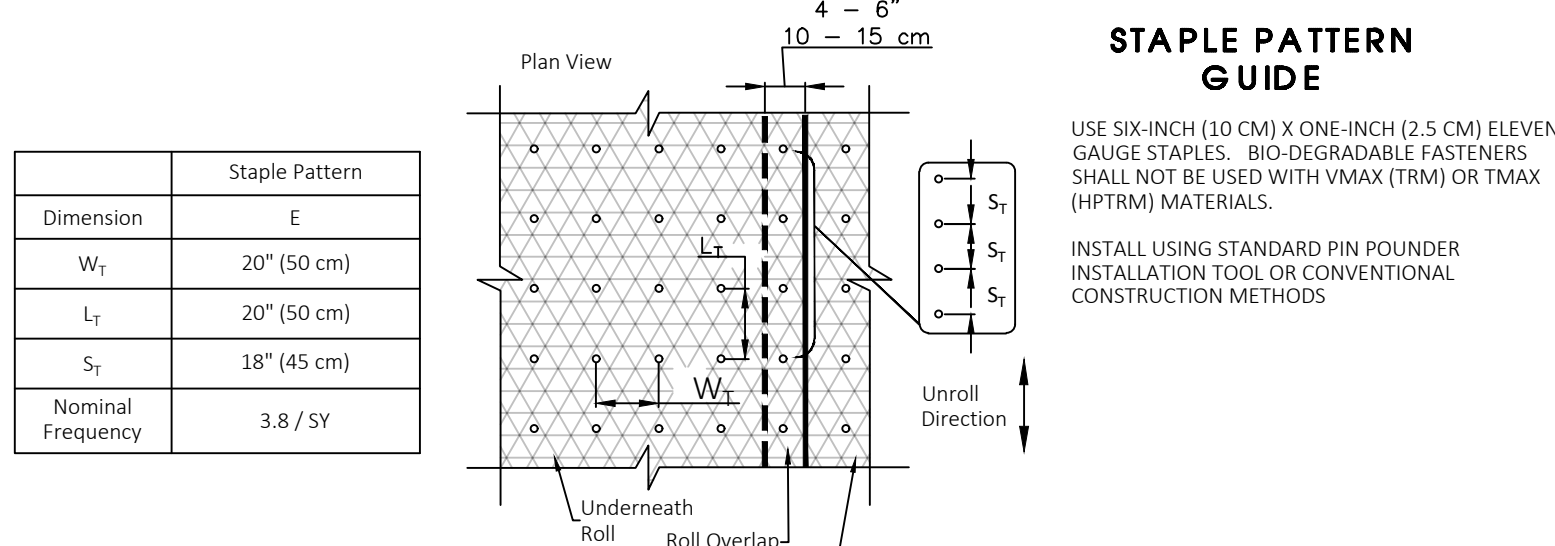
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION

NOT TO SCALE



STAPLE PATTERN GUIDE

USE SIX-INCH (10 CM) X ONE-INCH (2.5 CM) ELEVEN GAUGE STAPLES. BIO-DEGRADABLE FASTENERS SHALL NOT BE USED WITH VMAX (TRM) OR TMAX (HPTRM) MATERIALS.

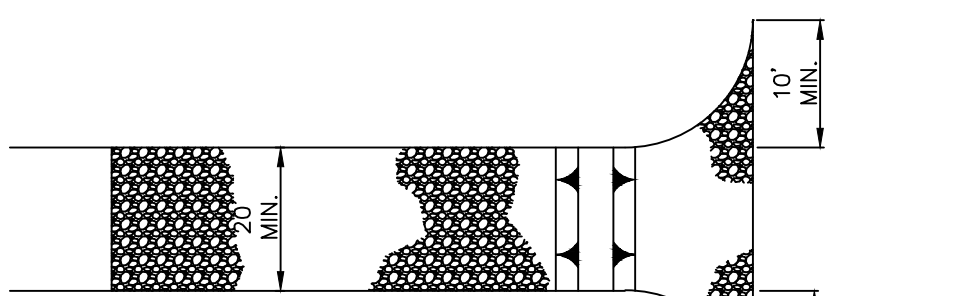
INSTALL USING STANDARD PIN POUNDER INSTALLATION TOOL OR CONVENTIONAL CONSTRUCTION METHODS

TURF REINFORCED MAT: NORTH AMERICAN GREEN VMAX C350

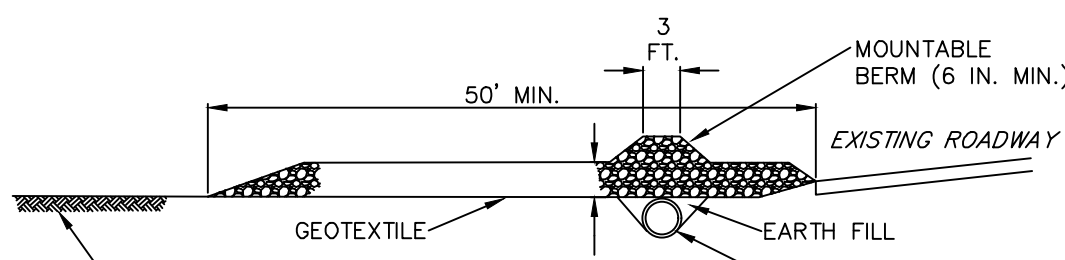
* SEE NORTH AMERICAN GREEN'S ROLLED EROSION CONTROL INSTALLATION GUIDE FOR ADDITIONAL SPECIFICATIONS AND DETAILS.

COIR LOGS: CLARION 20", HIGH DENSITY, PREDRILLED

* SEE ONE CLARION'S COIR LOG PRODUCT FLYER FOR SPECIFICATIONS AND INSTALLATION.



PLAN VIEW



PROFILE

NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

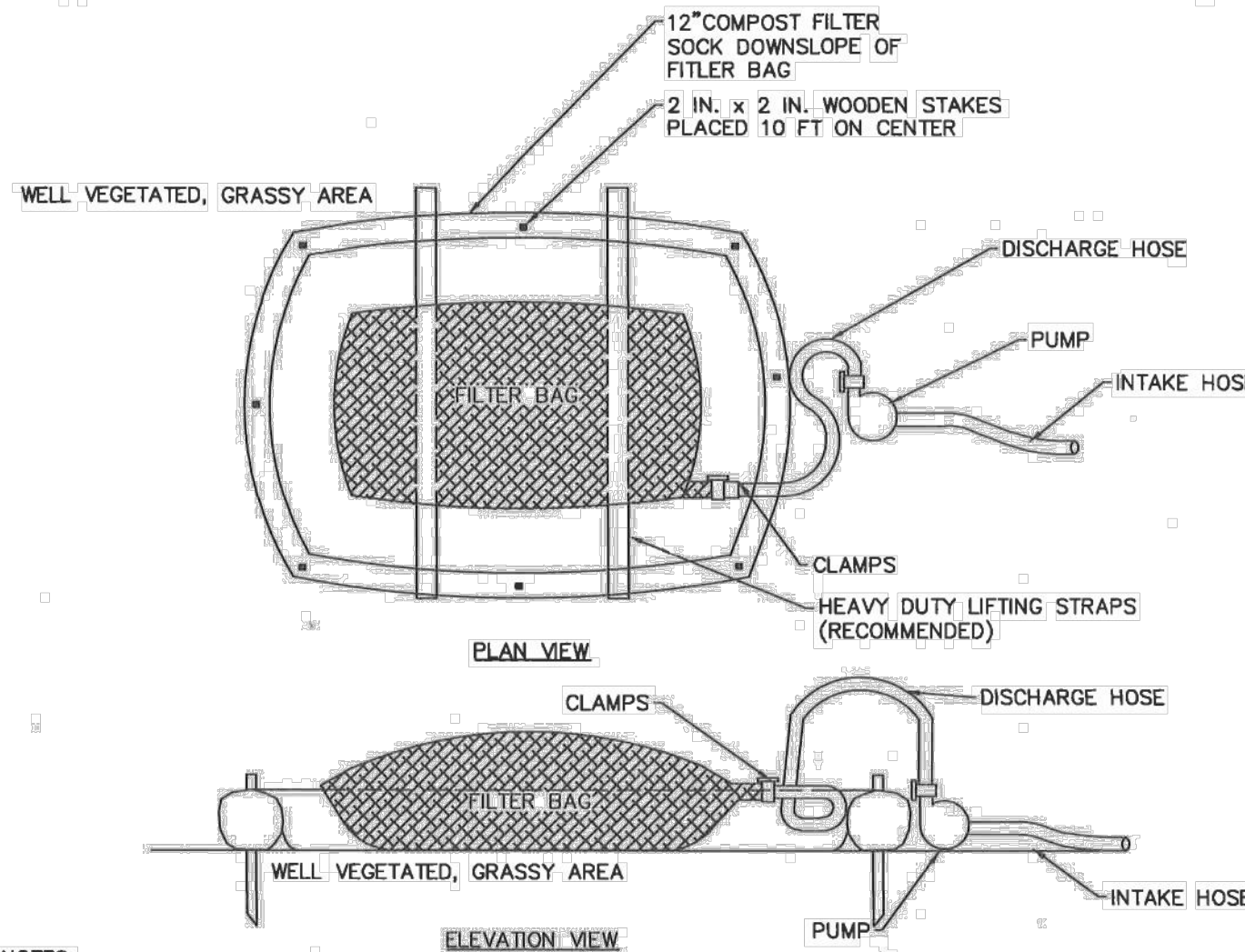
MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE

ABACT NOTE: TO MEET THE ABACT REQUIREMENTS OF THE NPDES GENERAL PERMIT, STREET SWEEPING WITH A VACUUM SWEEPER AND ROLLING OF DIRT ACCESS ROADS MUST BE PERFORMED AT THE END OF EACH WORK DAY (OR MORE FREQUENTLY AS NEEDED). TIRES CAN BE CLEANED OFF MANUALLY WITH A BROOM BEFORE EXITING THE PROJECT SITE.



NOTES:

NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/N
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

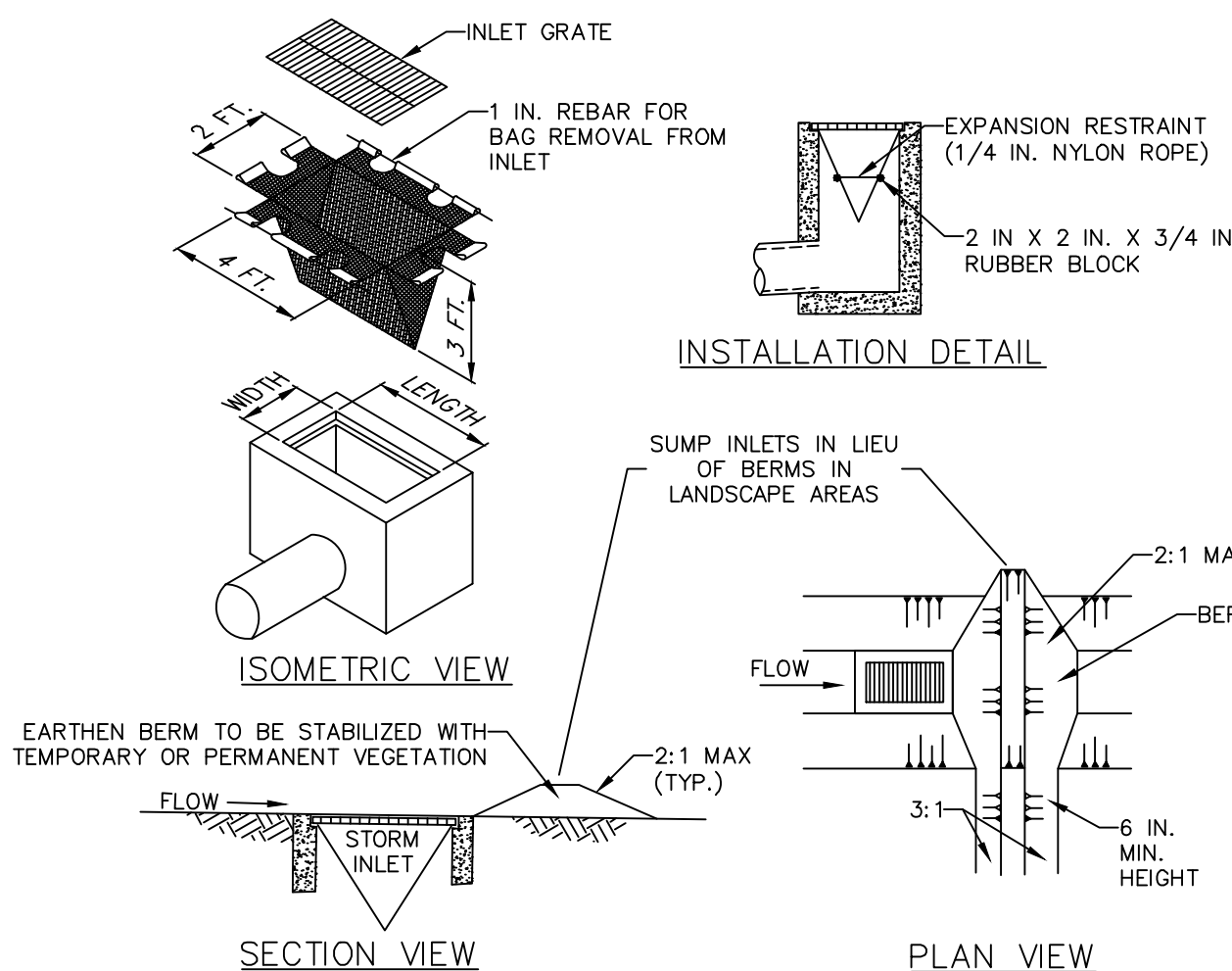
THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG W/COMPOST SOCK RING

NOT TO SCALE

ABACT NOTE: TO MEET THE ABACT REQUIREMENTS OF THE NPDES GENERAL PERMIT, RUNOFF TO BE PUMPED FROM SUMP PIT TO FILTER BAG PIT RINGED BY 12" COMPOST SOCK.



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

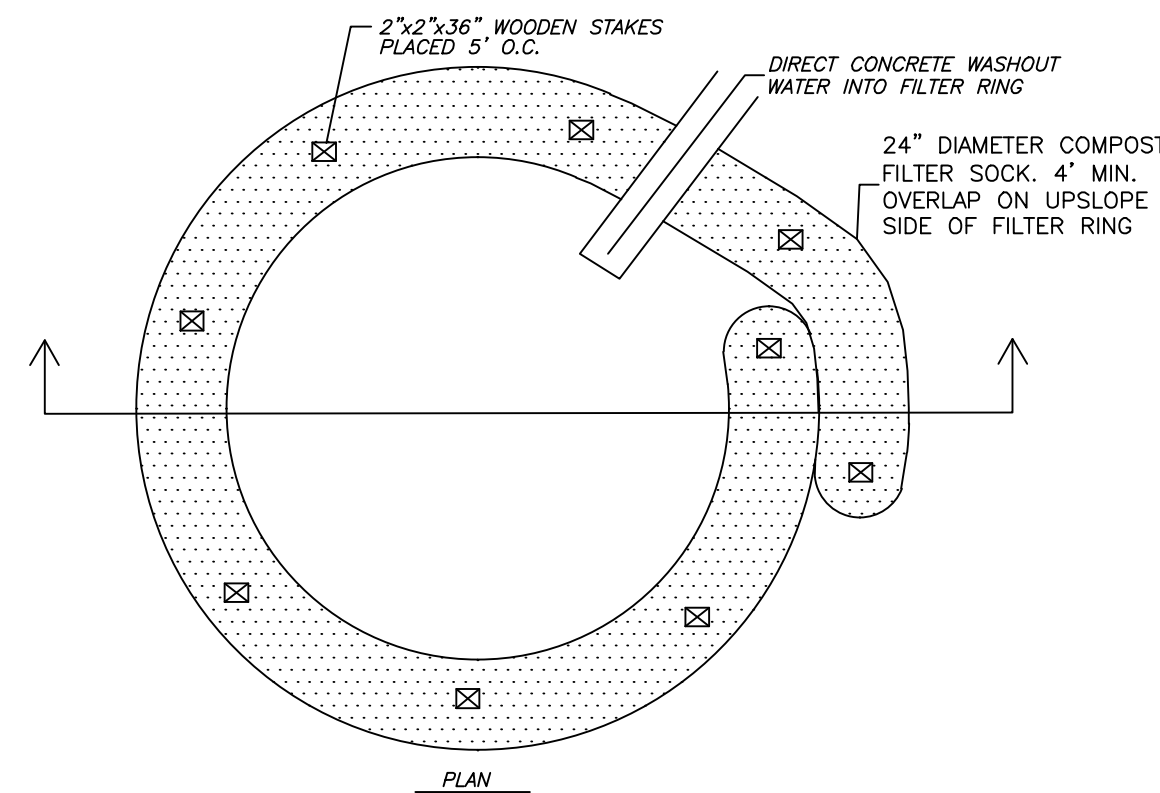
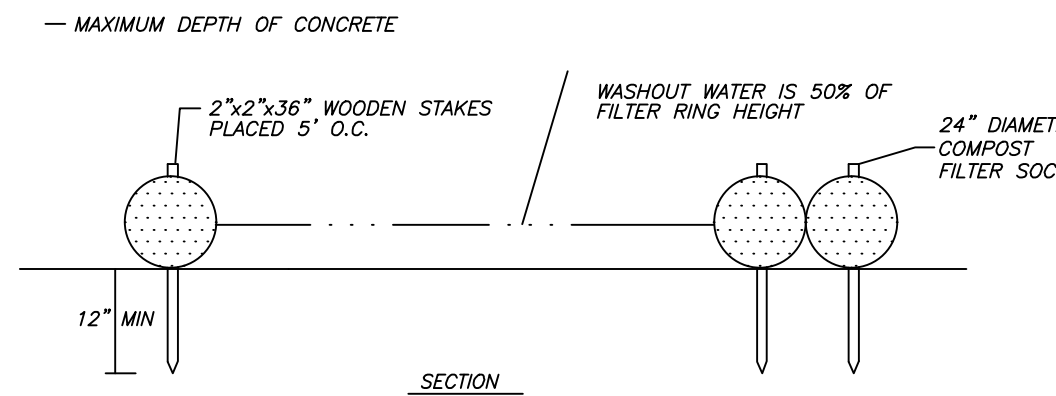
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

NOT TO SCALE



CONCRETE WASHOUT DETAIL (USING COMPOST SOCK)

(TAKEN FROM 2012 PAPER E&SC PROGRAM MANUAL PG 58)

INSTALLATION NOTES:

1. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS. CARE SHOULD BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS
2. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
3. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
4. FOR MORE INFORMATION CONTACT: WEBSITE <http://www.filtersock.com>

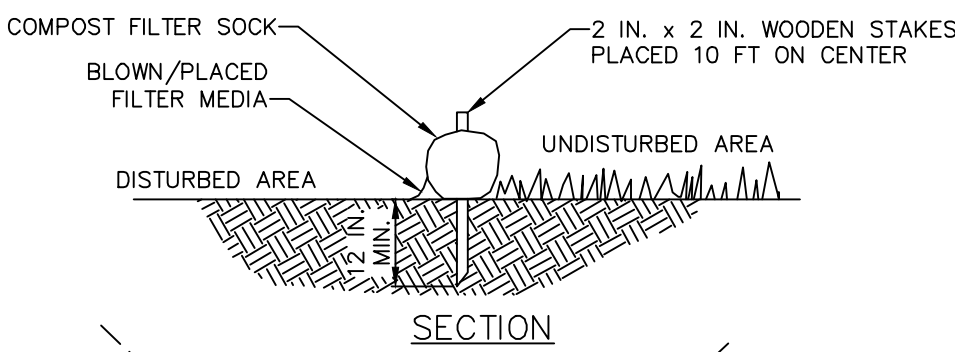
GENERAL NOTES:

1. FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ONSITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR CLEANING OF CHUTES, MIXERS, AND HOPPERS FOR THE DELIVERY VEHICLES UNLESS ALL DELIVERY VEHICLES WILL BE CLEANED OFFSITE.
2. UNDER NO CIRCUMSTANCES MAY WASH WATER BE ALLOWED TO ENTER ANY SURFACE WATERS.
3. WASHOUT FACILITIES MUST BE MORE THAN 50 FEET FROM STORM DRAINS, OPEN DITCHES, AND SURFACE WATERS.
4. NOTIFICATION MUST BE PROVIDED TO DRIVERS SO THEY ARE AWARE OF THE WASHOUT FACILITIES.

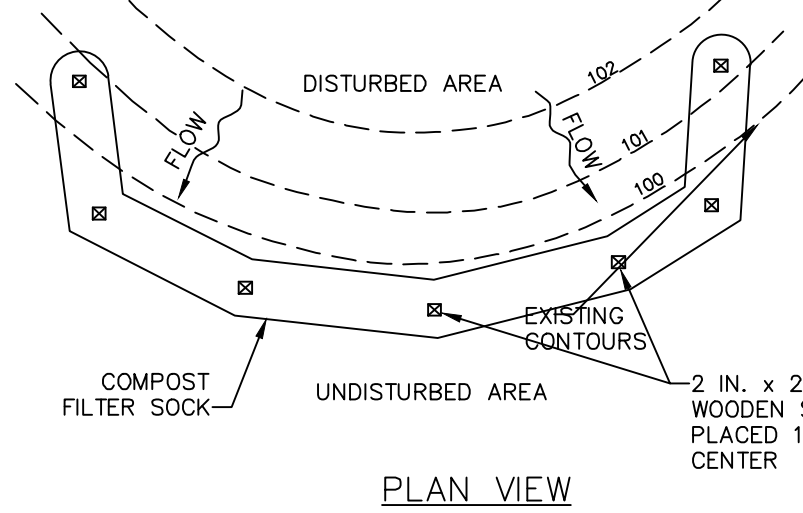
MAINTENANCE NOTES:

1. CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
2. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
3. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

SOCK ID	DIA (IN)
SILT #1	24
SILT #2	24
SILT #3	24
SILT #4	12
SILT #5	12
SILT #6	12
SOIL STOCKPILE	12
CONCRETE WASH	8



SECTION



PLAN VIEW

NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

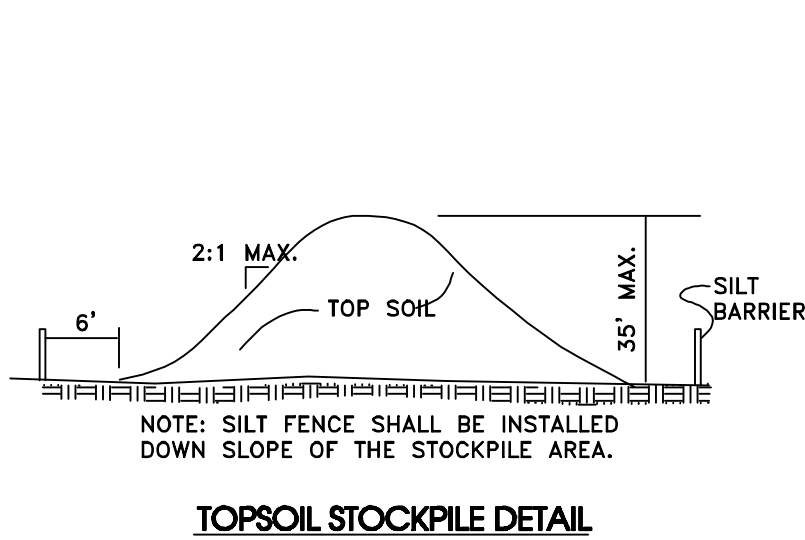
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

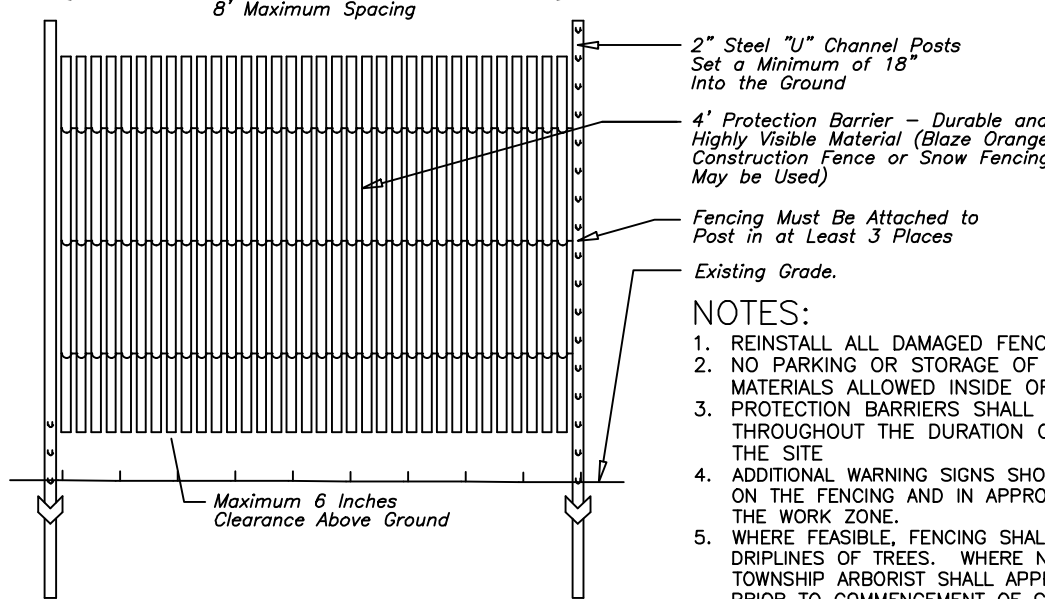
UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

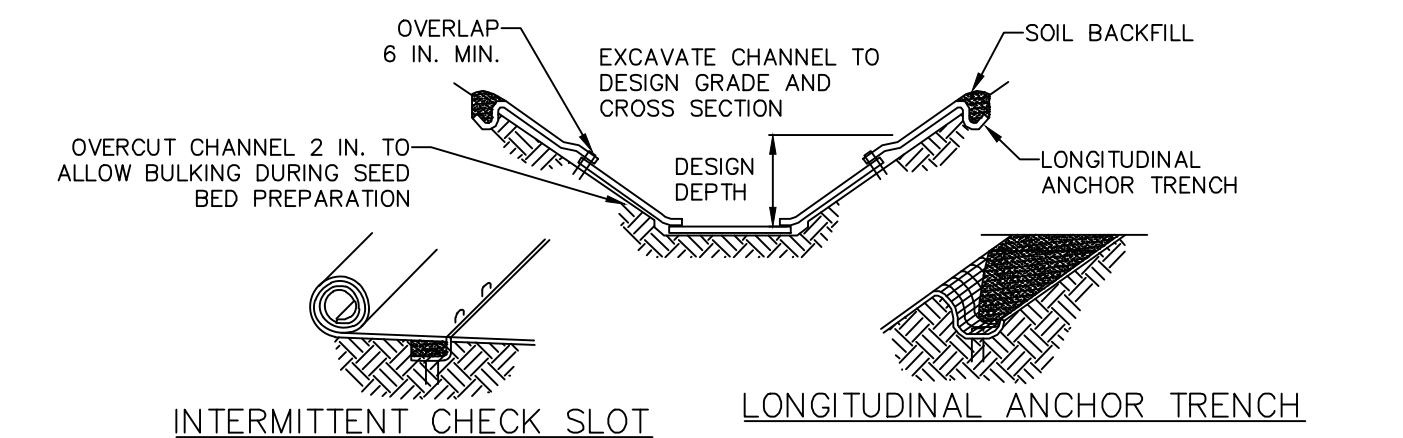
NOT TO SCALE



TOPSOIL STOCKPILE DETAIL

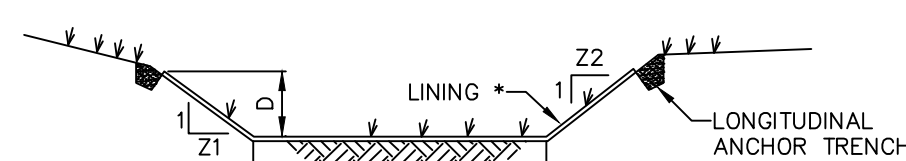


BMP & TREE PROTECTION TEMPORARY CONSTRUCTION FENCING



PREPARE SOIL AND APPLY SEED BEFORE INSTALLING BLANKETS, MATS, OR OTHER TEMPORARY CHANNEL LINER SYSTEM.

ISOMETRIC VIEW



CHANNEL CROSS-SECTION

* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION

CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING *
REAR	0 to 275	1	1	7	3	3	NAG VMAX C350 TRM

NOTES:

ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.

CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.

NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

STANDARD CONSTRUCTION DETAIL #6-1 VEGETATED CHANNEL

NOT TO SCALE

STANDARD E&S WORKSHEET #1 EQUIVALENT

PROJECT NAME: PARKVIEW HOMES AT VALLEY FORGE
LOCATION: 450 W BEIDLER RD, UPPER MERION, MONTGOMERY CO
PREPARED BY: LPS
CHECKED BY: DATE: 8/10/2025

BARRIER ID TYPICAL WORST CASE - SILT #1 TO #2						
SOCK SIZE 24		BARRIER SIZE ACCEPTABLE - SLOPE LENGTH < MAX LENGTH				
Segment	Length, FT	(B) Slope %	(C) Maximum Slope Length, FT	(D) Available Slope Length, FT	(E) % of Available Length Used (B)/(E)*100%	(G) % of Available Length Remaining
1	259	5%	500	500	51.8%	48.2%
2	10	35%	80	39	35.7%	64.3%
3	28	7%	380	136	20.8%	79.2%
4	49	15%	250	71	69.2%	30.8%
Slope Length	346			Total Length Used =	91.3%	

BARRIER ID TYPICAL WORST CASE - SILT #3 TO #6						
SOCK SIZE 12		BARRIER SIZE ACCEPTABLE - SLOPE LENGTH < MAX LENGTH				
Segment	Length (feet)	Slope %	Maximum Slope Length (feet)	Maximum Length x % Length Remaining (feet)	% Maximum Length Used	% Maximum Length Remaining
1	134	5%	250	250	53.6%	46.4%
2						
3						
4						
Slope Length	134			Total Length Used =	53.6%	

E&SC PLAN SET LIST OF DRAWINGS

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PLAN PREPARED BY:

SITE ENGINEERING CONCEPTS, LLC

P.O. BOX 1992
SOUTHEASTERN, PA 19399

P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

LAND DEVELOPMENT PLAN / NPDES PLAN

PLAN PREPARED FOR:

PARKVIEW HOMES AT VALLEY FORGE, LLC

450 WEST BEIDLER ROAD, KING OF PRUSSIA

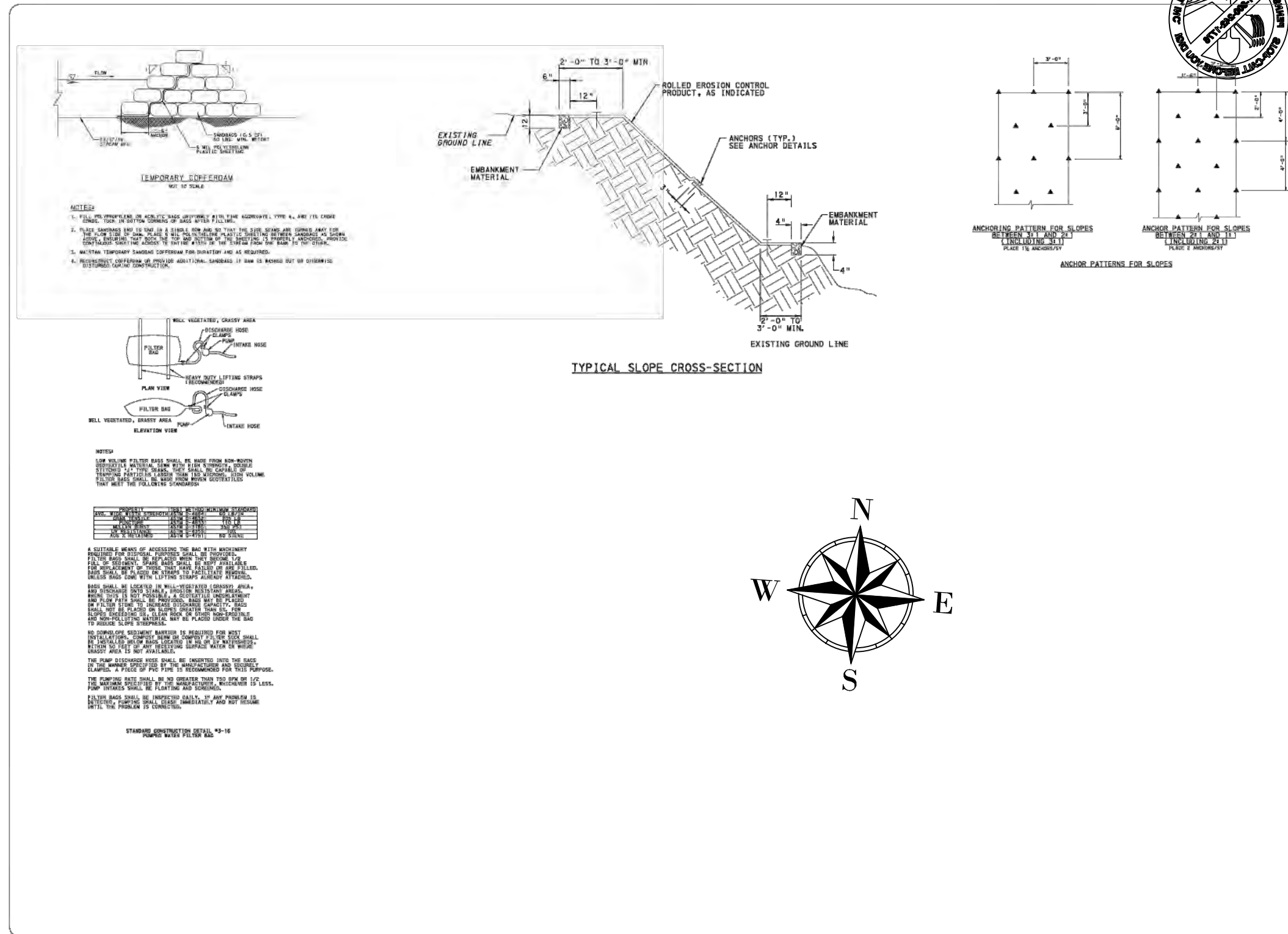
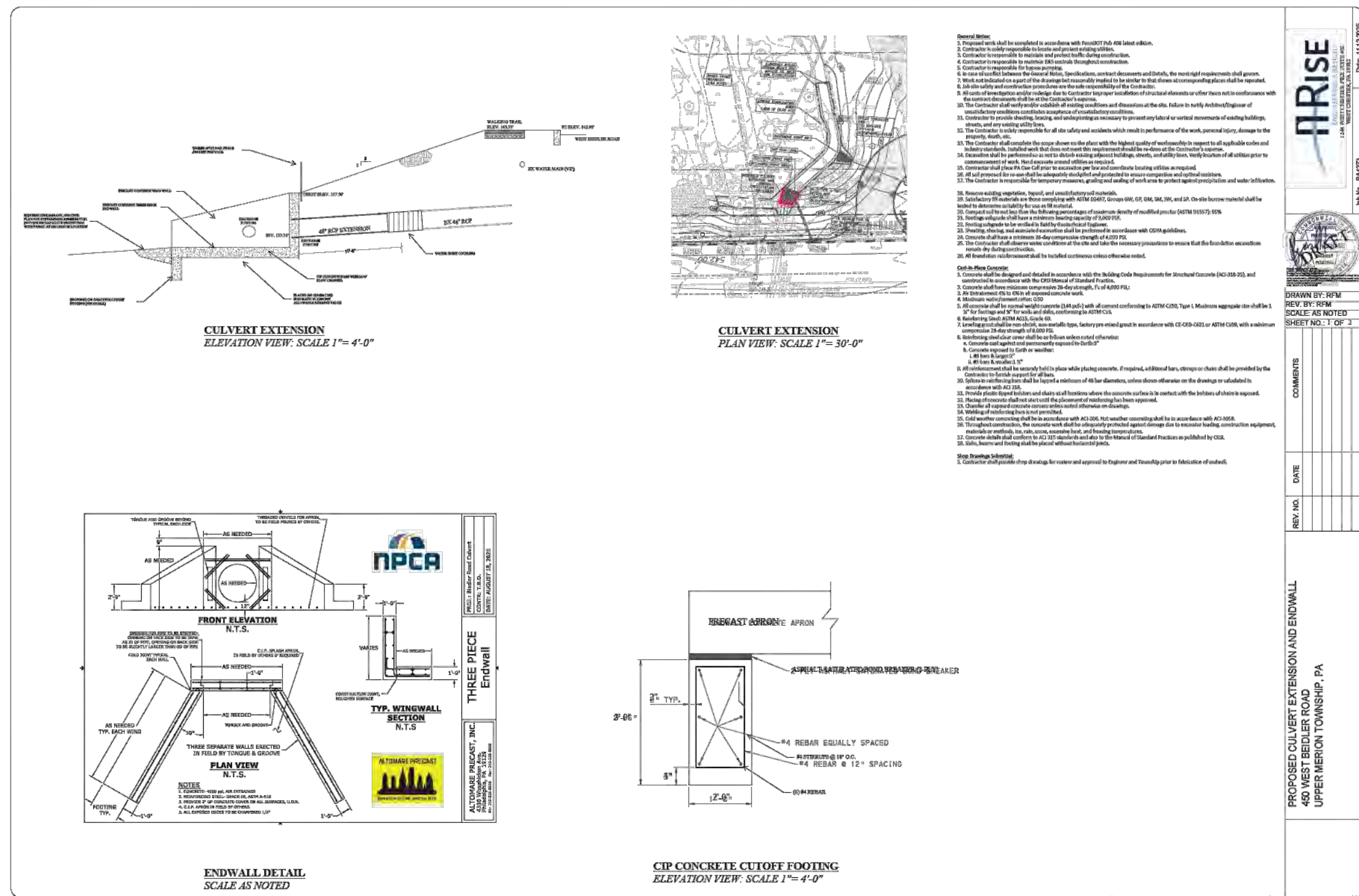
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

18 AUG 2025

EROSION AND SEDIMENT CONTROL PLAN DETAILS

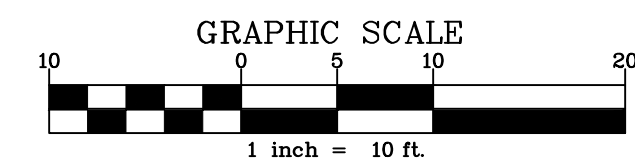
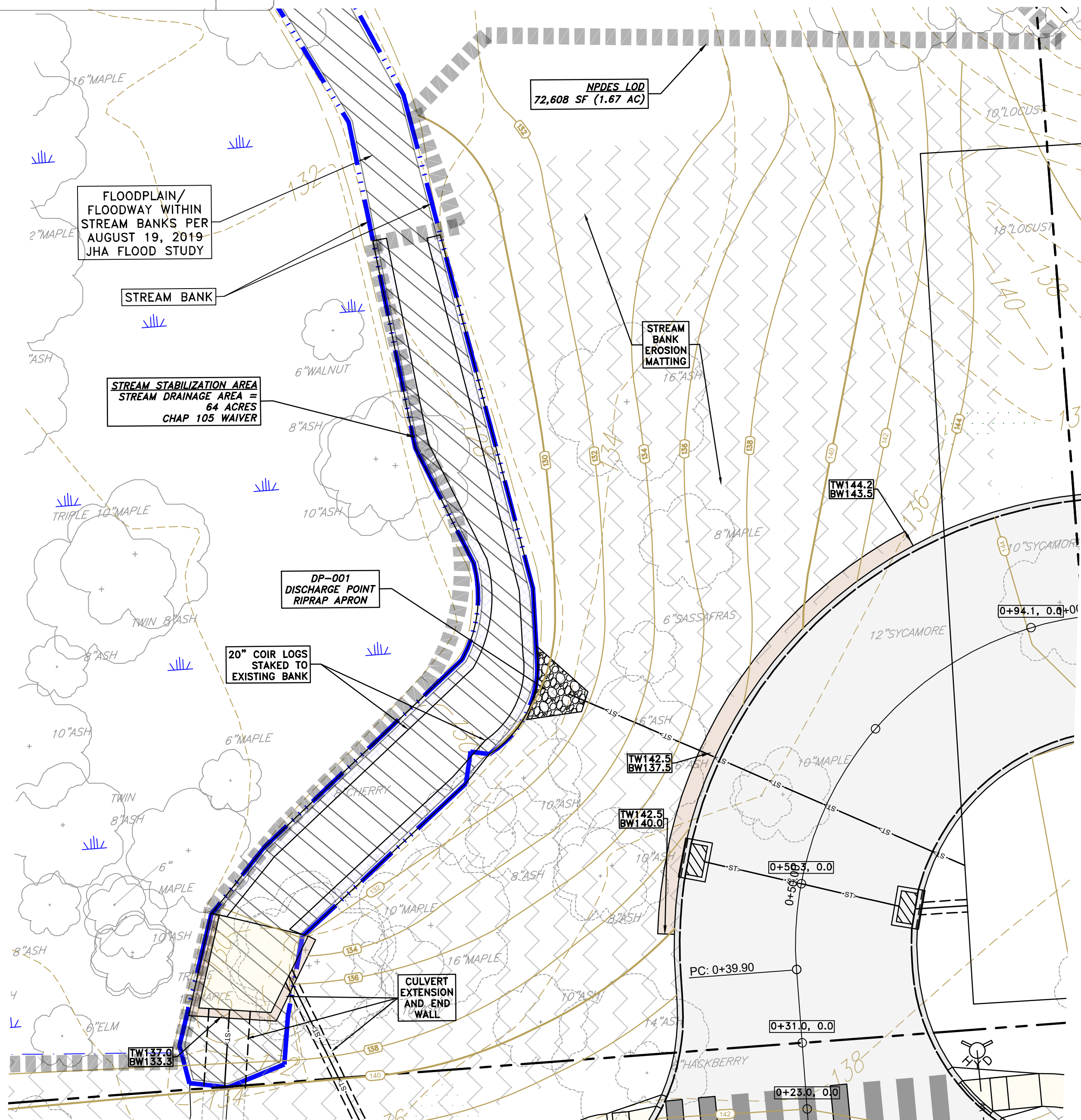
SHEET
11 of 19

SCALE: 1" = NTS

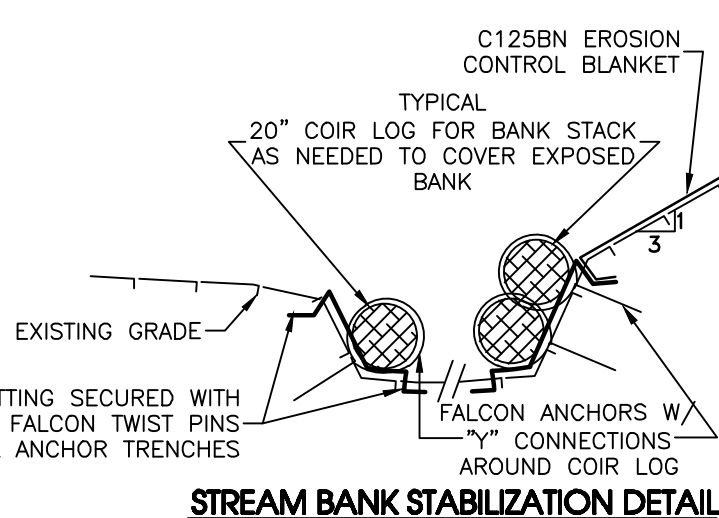
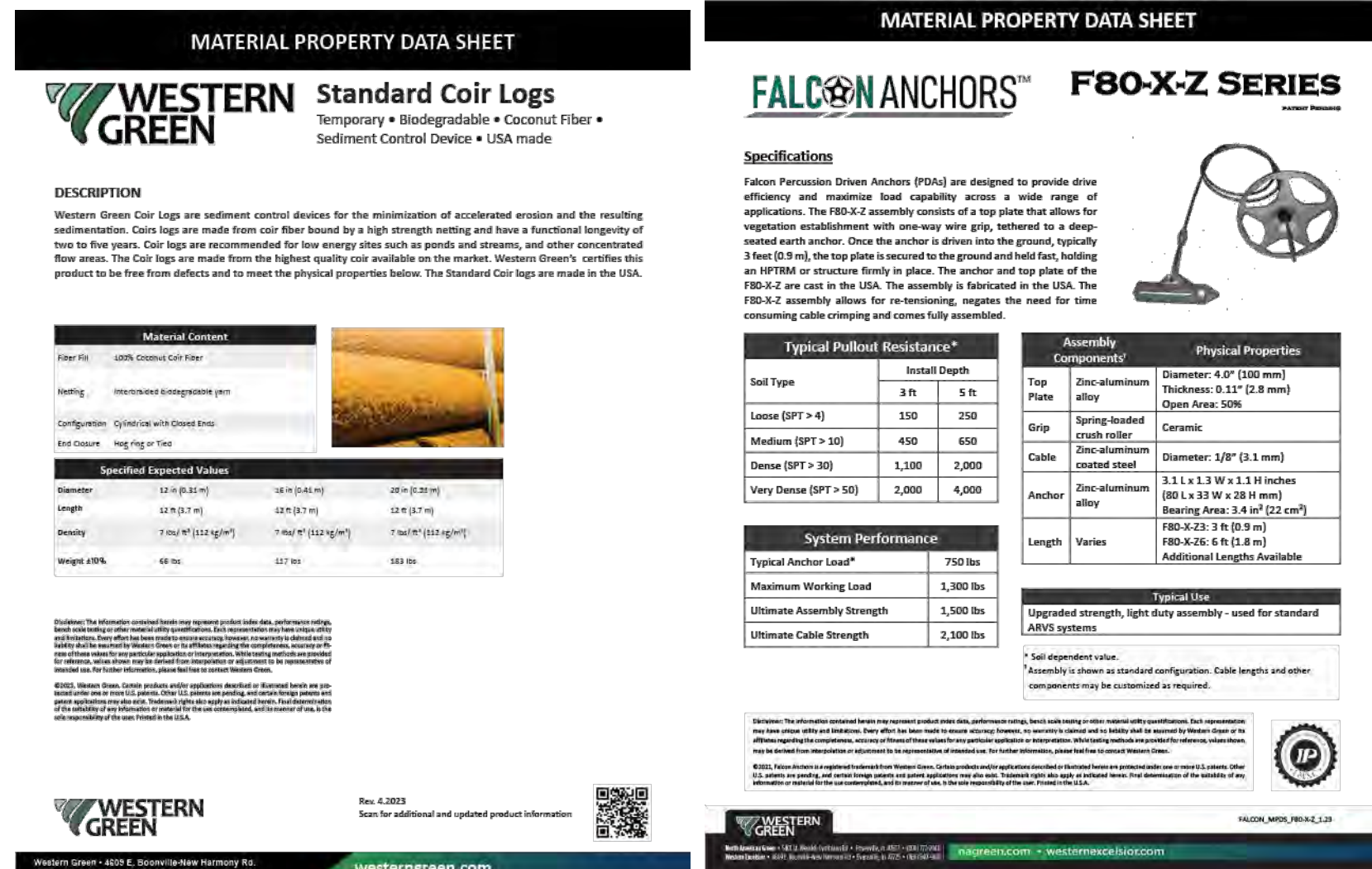


NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

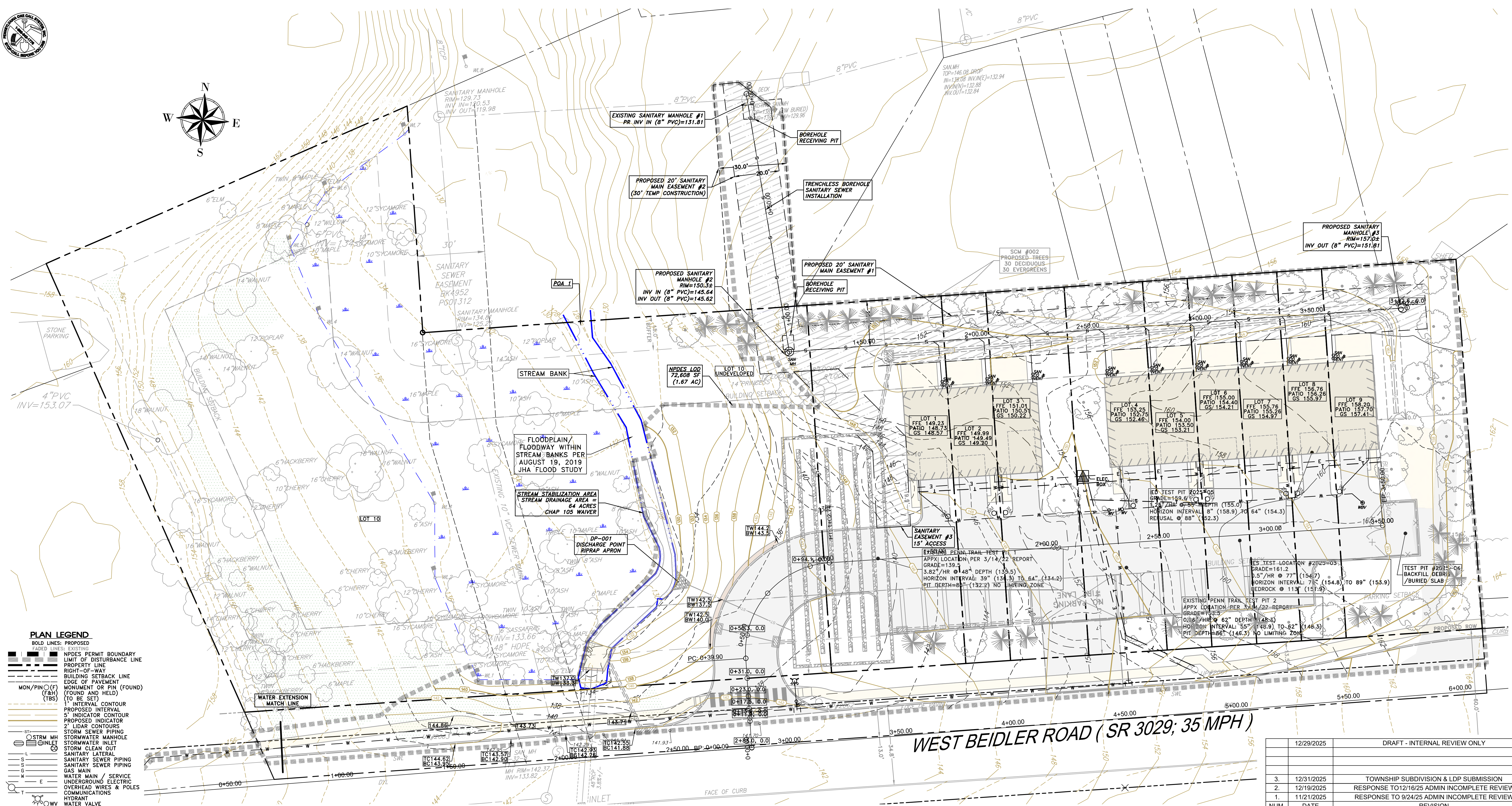
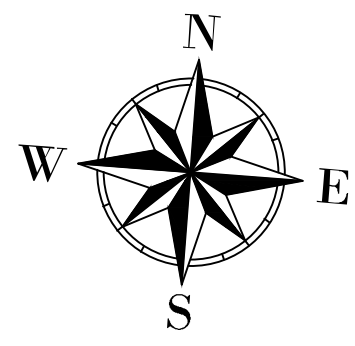
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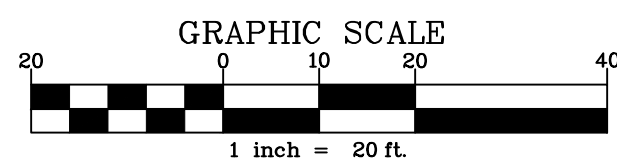
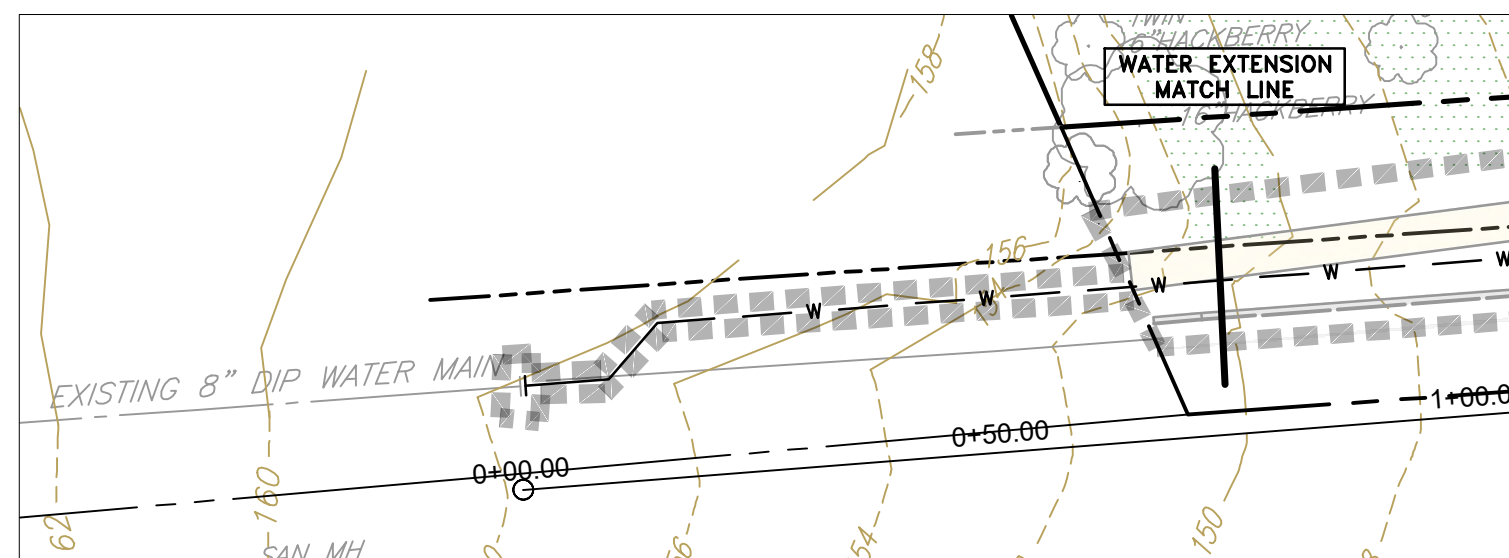
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450 WEST BEIDLER ROAD, KING OF PRUSSIA		
UPPER MERION TOWNSHIP		MONTGOMERY COUNTY
		PENNSYLVANIA
		18 AUG 2025
STREAM STABILIZATION DETAILS		SHEET 12 of 19
		SCALE: 1" = 20'

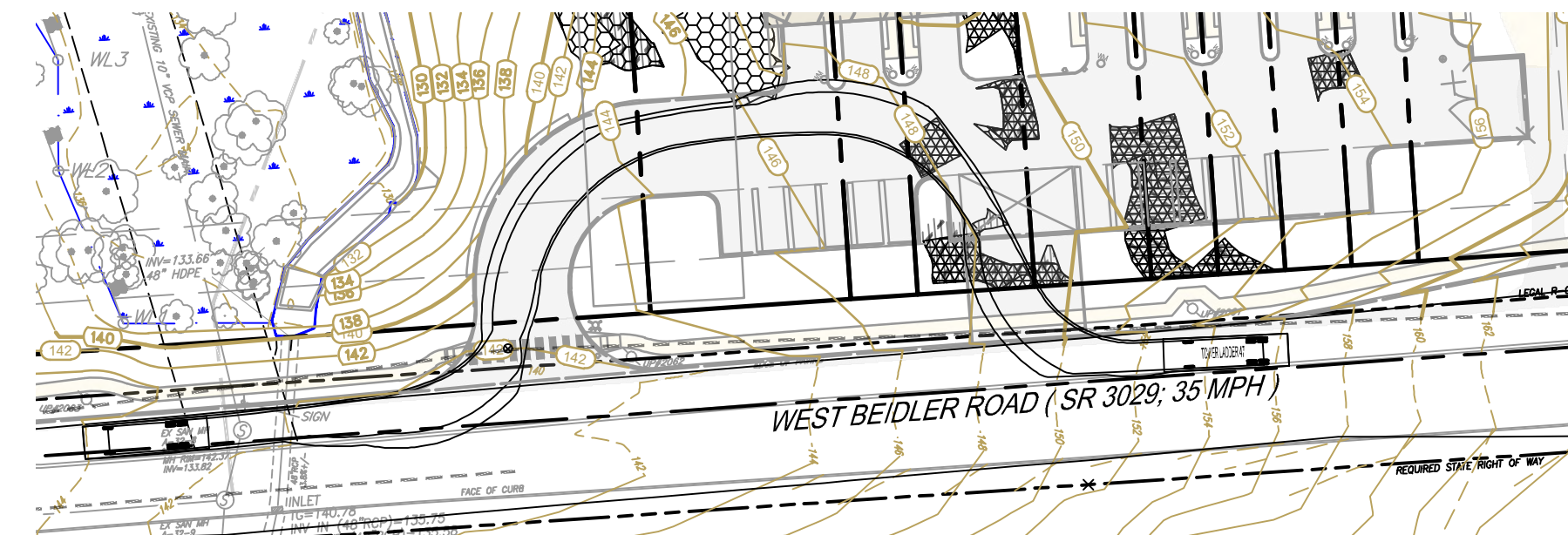
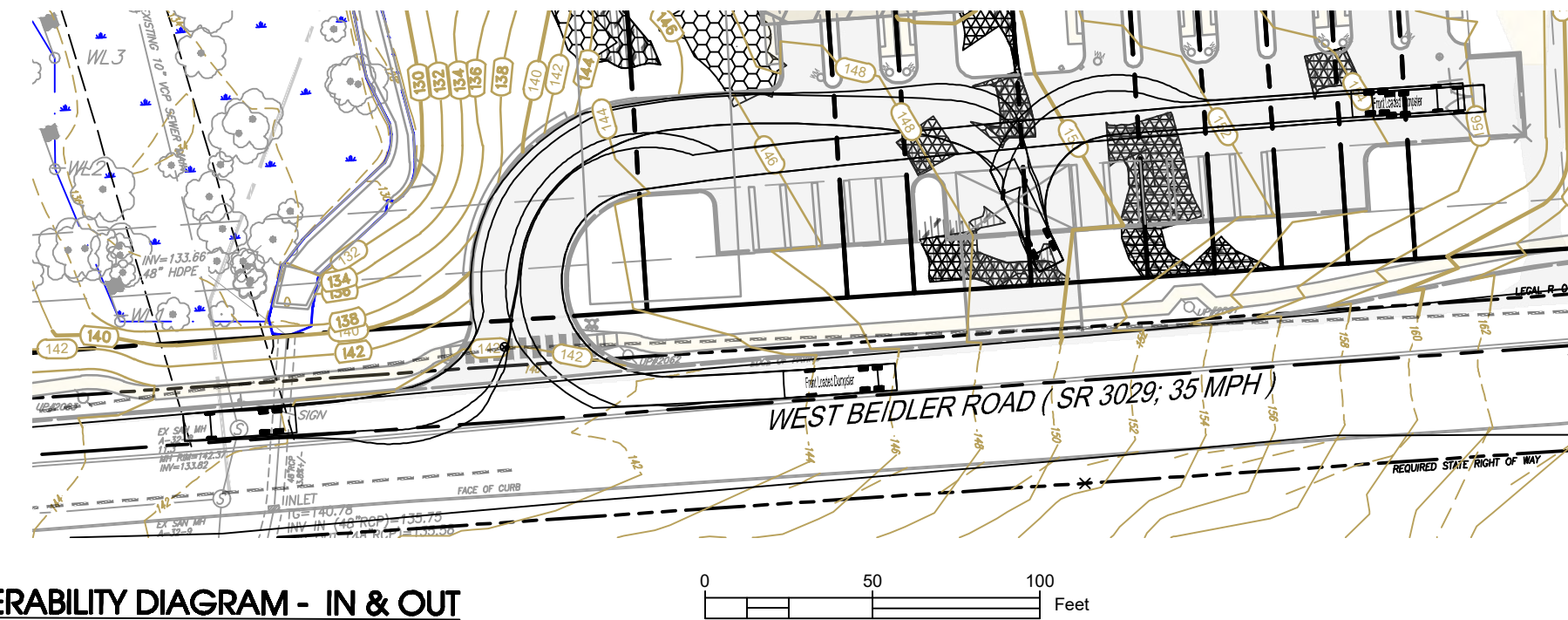
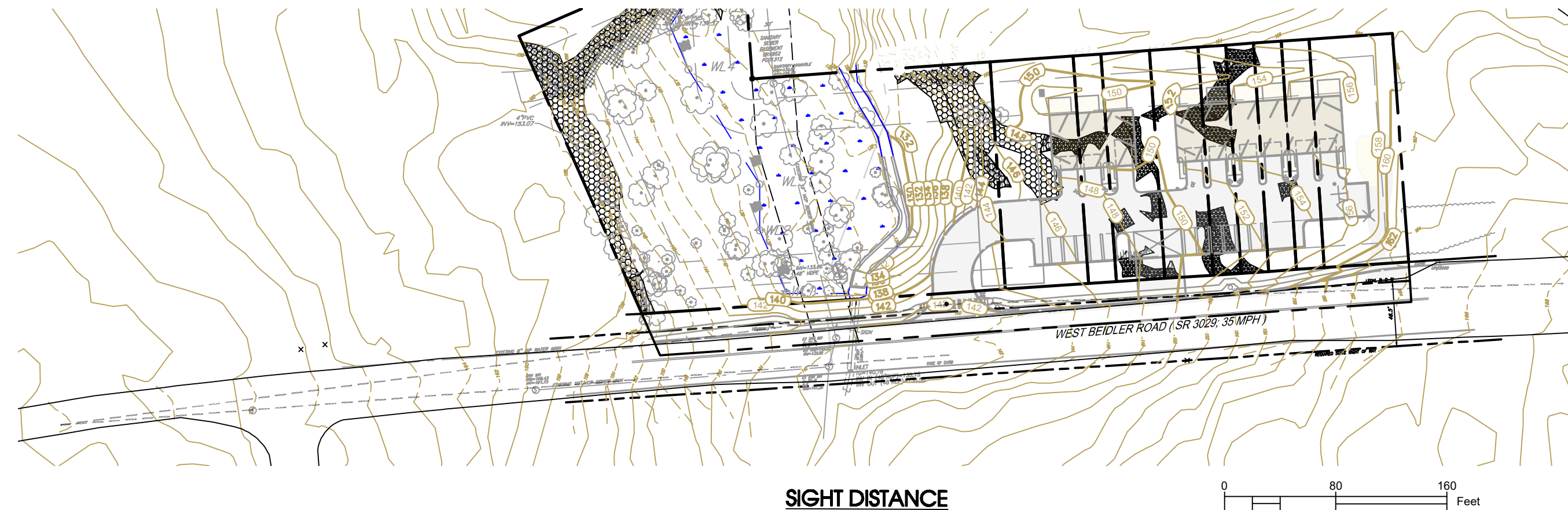


- PLAN LEGEND**
- BOLD LINES: PROPOSED
 - DASHED LINES: EXISTING
 - NPDES PERMIT BOUNDARY
 - LIMIT OF DISTURBANCE LINE
 - PROPERTY LINE
 - RIGHT-OF-WAY
 - BUILDING SETBACK LINE
 - EDGE OF PAVEMENT
 - MONUMENT OR PIN (FOUND AND HELD) (TO BE SET)
 - INTERVAL CONTOUR
 - PROPOSED INTERVAL
 - 5' INDICATOR CONTOUR
 - PROPOSED INDICATOR
 - 2' LIDAR CONTOURS
 - STORM SEWER PIPING
 - STORMWATER MANHOLE
 - STORMWATER INLET
 - SANITARY LATERAL
 - SANITARY SEWER PIPING
 - SANITARY SEWER PIPING
 - GAS MAIN
 - WATER MAIN / SERVICE
 - UNDERGROUND ELECTRIC
 - OVERHEAD WIRES & POLES
 - COMMUNICATIONS
 - HYDRANT
 - WATER VALVE
 - WATER METER
 - SANITARY VENT
 - OSAN CO
 - SANITARY CLEAN OUT
 - OSAN MH
 - SANITARY MANHOLE
 - OSAN
 - GAS METER
 - OSAN
 - GAS VALVE
 - BUILDINGS
 - PORCH/ROOF LINES
 - ASPHALT
 - WALKS & PADS
 - WALLS
 - EDGE OF LANDSCAPING
 - FENCE LINE
 - LIGHT POLE
 - SOIL BOUNDARY
 - & MAP SYMBOL
 - NORTH AMERICAN GREEN VMX C350
 - TURF REINFORCEMENT MATTING
 - STREAM
 - WETLANDS W/FLAGS
 - SLOPES, <15%
 - SLOPES, 15-25%
 - STEEP SLOPES, >25%
 - NATURAL MAN-MADE OR <5' CHANGE

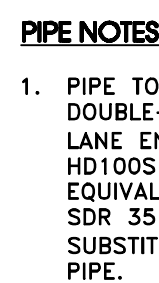


WEST BEIDLER ROAD (SR 3029; 35 MPH)

	12/29/2025	DRAFT - INTERNAL REVIEW ONLY
3.	12/31/2025	TOWNSHIP SUBDIVISION & LDP SUBMISSION
2.	12/19/2025	RESPONSE TO 12/16/25 ADMIN INCOMPLETE REVIEW
1.	11/21/2025	RESPONSE TO 9/24/25 ADMIN INCOMPLETE REVIEW
NUM.	DATE	REVISION
PLAN PREPARED BY:		
SITE ENGINEERING CONCEPTS, LLC		
P.O. BOX 1992		
SOUTHEASTERN, PA 19399		
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM		
LAND DEVELOPMENT PLAN / NPDES PLAN		
PLAN PREPARED FOR:		
PARKVIEW HOMES AT VALLEY		
FORGE, LLC		
450 WEST BEIDLER ROAD, KING OF PRUSSIA		
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA		
18 AUG 2025		
GRADING & UTILITY PLAN		SHEET 13 of 19
		SCALE: 1" = 20'



NOTE: MATCH EXISTING DEPTH IF GREATER



1. ALL EXISTING AND PROPOSED UTILITY LINES MUST BE SET NO LOWER THAN 13' 6" TO PROVIDE NECESSARY VERTICAL CLEARANCE FOR EMERGENCY RESPONSE VEHICLES

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

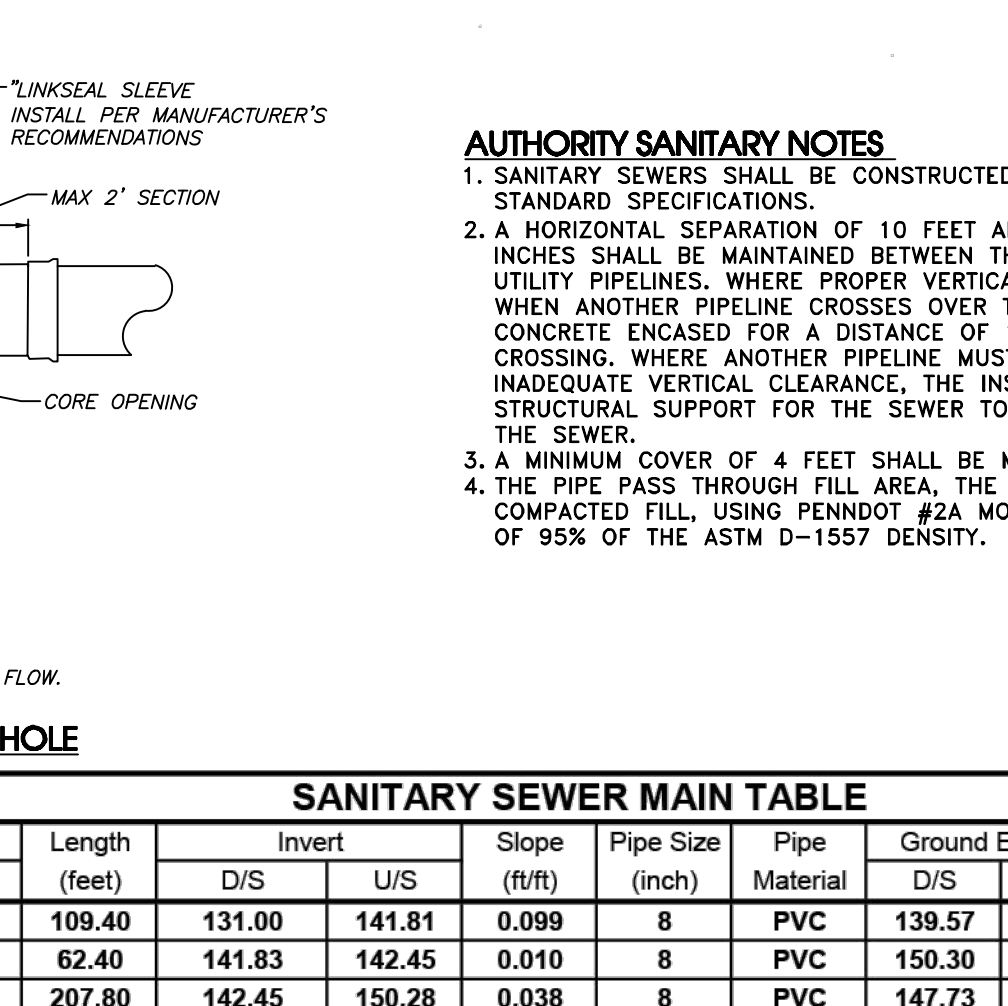
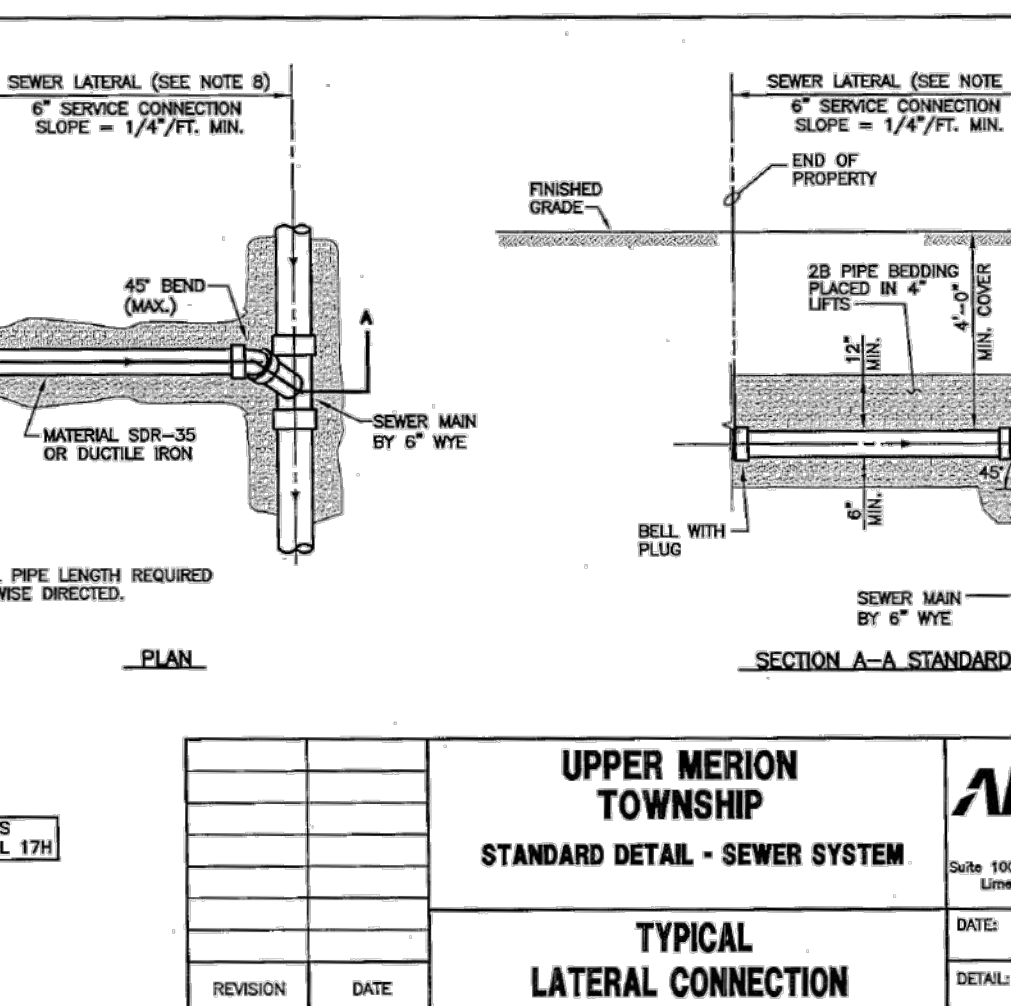
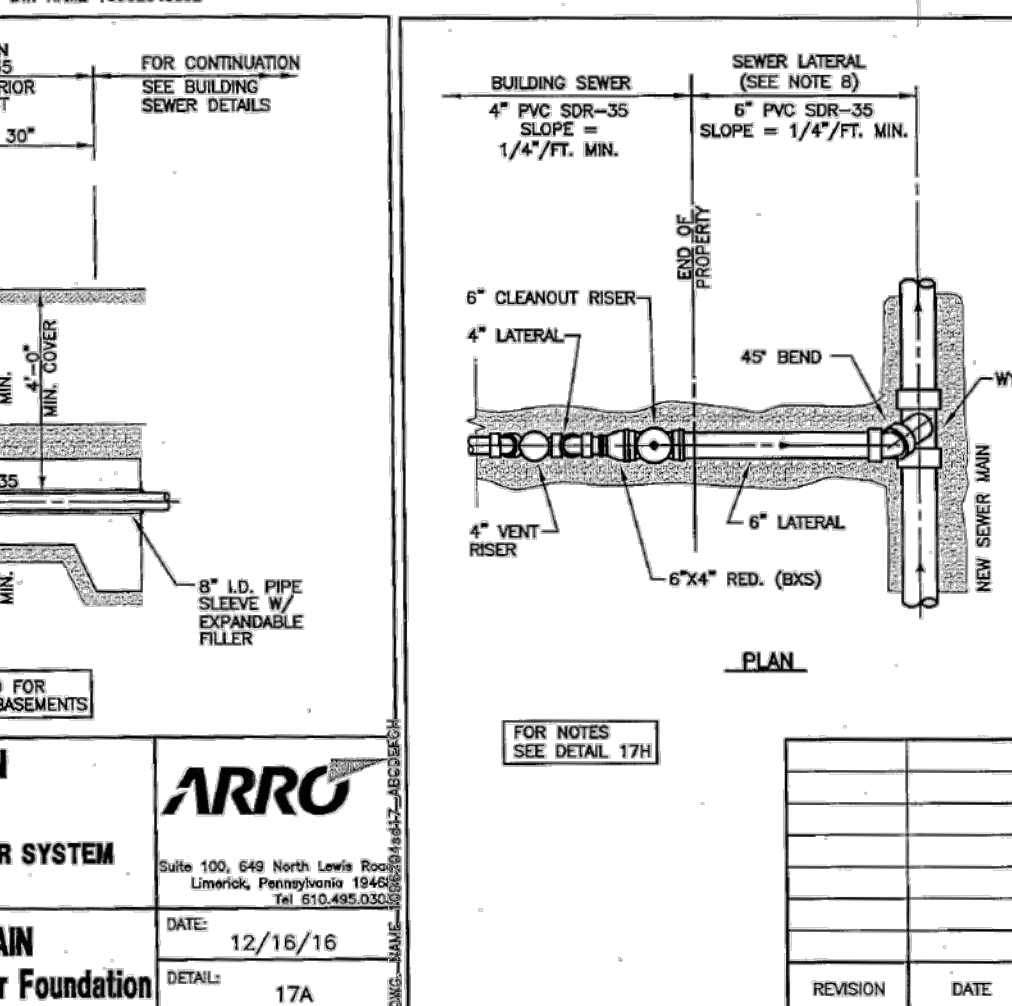
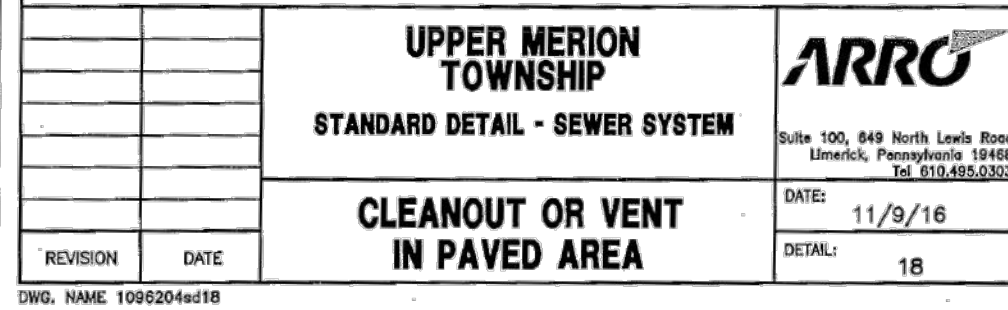
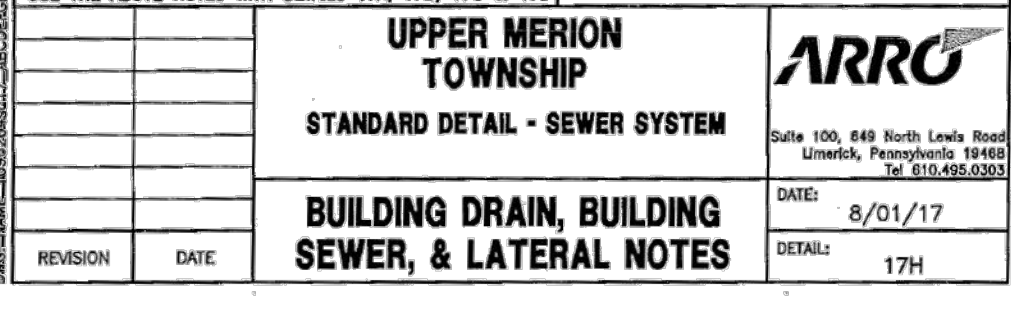
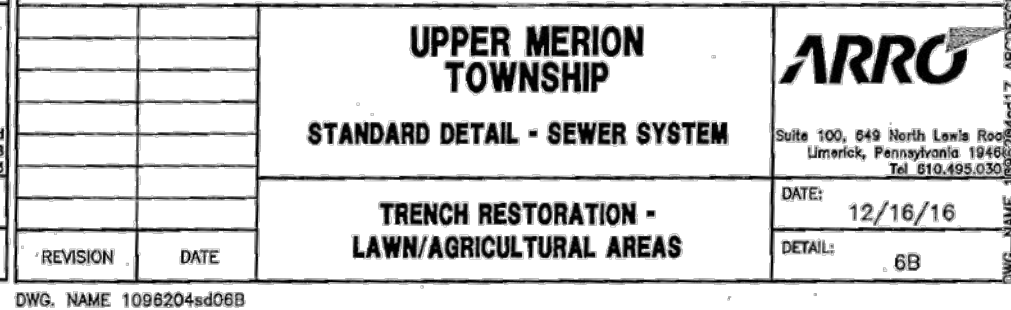
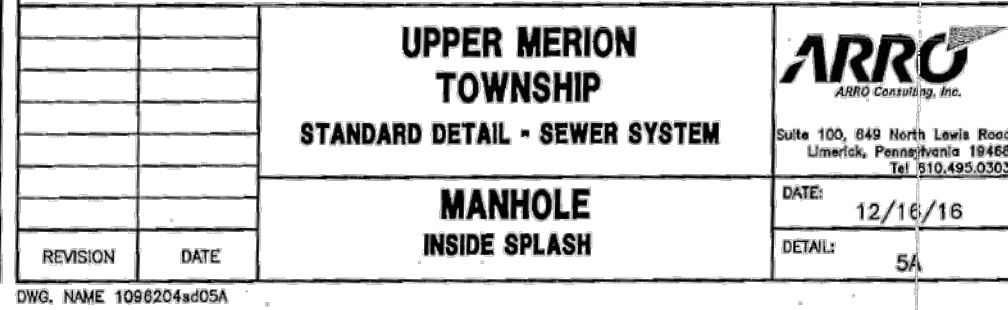
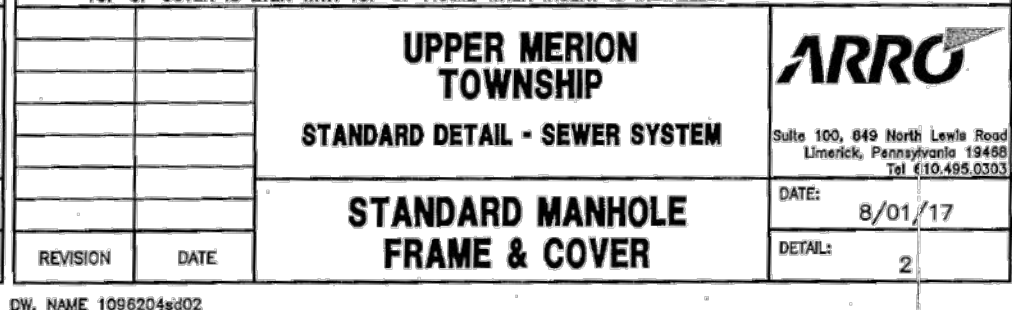
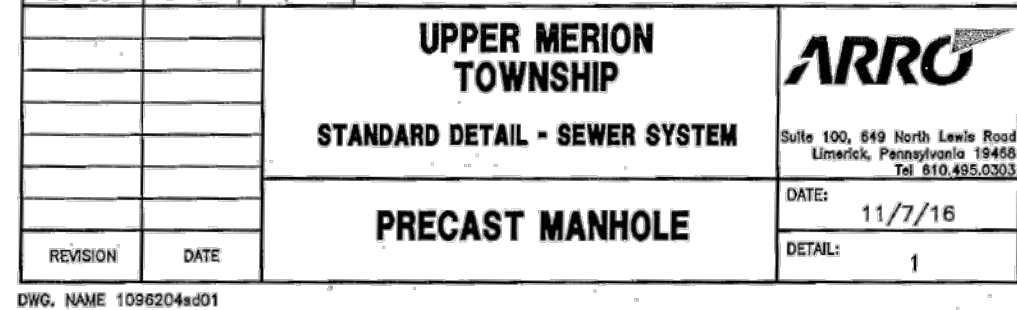
MISCELLANEOUS
CONSTRUCTION DETAILS &
NOTES

18 AUG 2025

SHEET
14 of 19

SCALE: 1" = NTS

SCALE: 1" = NTS

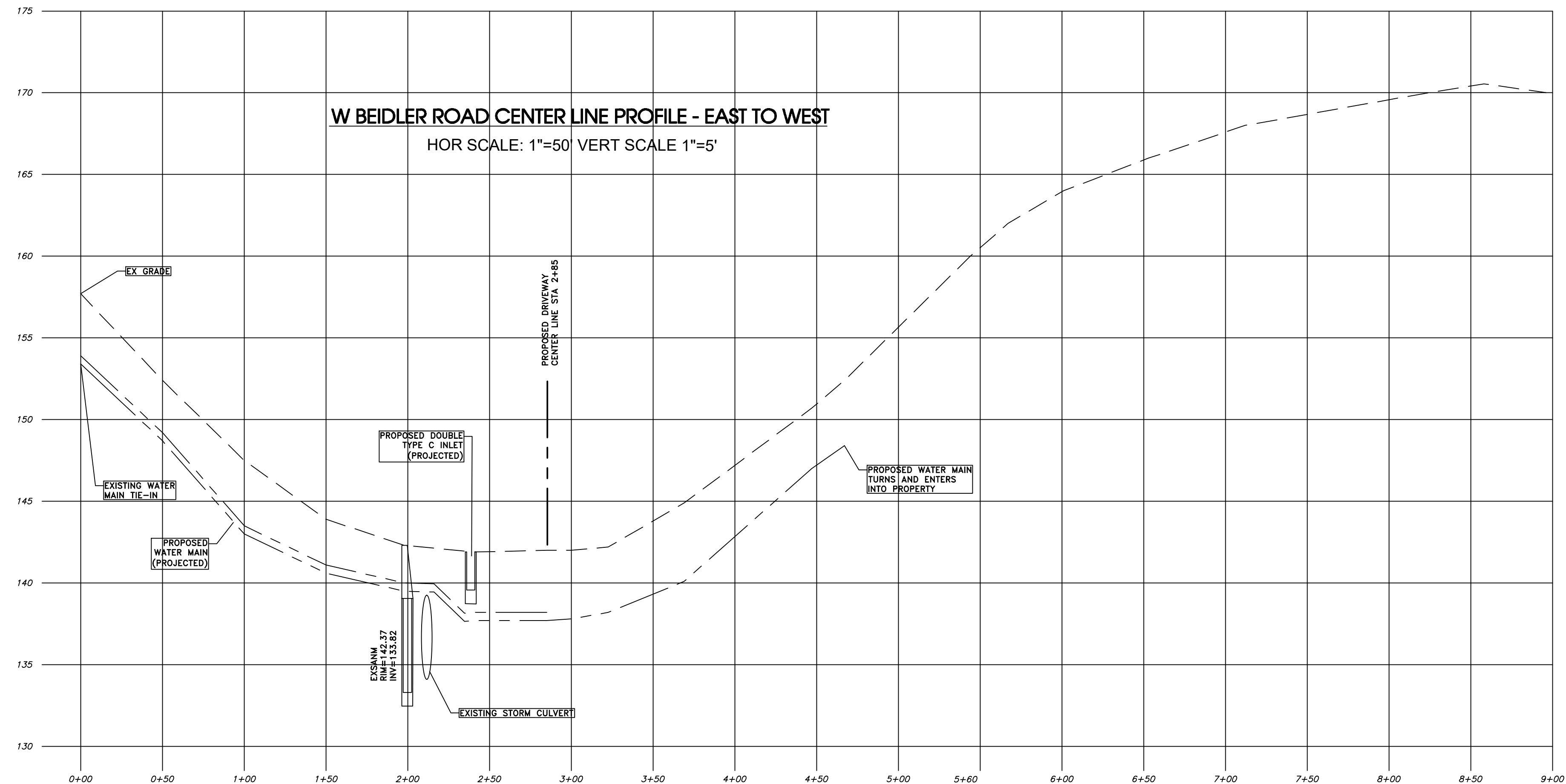


LATERAL PIPE RUN TABLE								
LOT	INV @ MAIN	SWALE INV	COVER	LAT SLOPE	DIST TO HOUSE	FND STUB	GRADE	CVR
1	143.12	143.73	4.21	0.02	21.2	143.544	148.73	4.786
2	143.92	148.53	4.21	0.02	21.4	144.348	149.49	4.742
3	144.75	149.35	4.2	0.02	21.5	145.18	150.51	4.93
4	145.81	150.4	4.19	0.02	21.7	146.244	152.75	6.106
5	146.62	151.2	4.18	0.02	22.1	147.062	153.5	6.038
6	147.53	152.2	4.27	0.02	22	147.97	154.5	6.13
7	148.29	152.85	4.16	0.02	21.9	148.728	155.26	6.132
8	149.24	153.8	4.16	0.02	21.9	149.678	156.26	6.182
9	149.79	154.3	4.11	0.02	22.55	150.241	157.7	7.059



	12/29/2025	DRAFT - INTERNAL REVIEW ONLY
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	12/19/2025	RESPONSE TO12/16/25 ADMIN INCOMPLETE REVIEW
1.	11/21/2025	RESPONSE TO 9/24/25 ADMIN INCOMPLETE REVIEW
NUM.	DATE	REVISION

SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM
LAND DEVELOPMENT PLAN / NPDES PLAN
PLAN PREPARED FOR:
*PARKVIEW HOMES AT VALLEY
FORGE, LLC*
450 WEST BEIDLER ROAD, KING OF PRUSSIA
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA
18 AUG 2025
*SANITARY PROFILE,
DETAILS & NOTES*
SHEET
15 of 19
SCALE: 1" = 100'



	12/29/2025	DRAFT - INTERNAL REVIEW ONLY
3.	12/31/2025	TOWNSHIP SUBDIVISION & LDP SUBMISSION
2.	12/19/2025	RESPONSE TO 12/16/25 ADMIN INCOMPLETE REVIEW
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LAND DEVELOPMENT PLAN / NPDES PLAN		
PLAN PREPARED FOR:		
PARKVIEW HOMES AT VALLEY		
FORGE, LLC		
450 WEST BEIDLER ROAD, KING OF PRUSSIA		
UPPER MERION TOWNSHIP	MONTGOMERY COUNTY	PENNSYLVANIA
		18 AUG 2025
ROAD & DRIVE PROFILE		SHEET 17 of 19
		SCALE: 1" = NTS

Qty	Tag	Scientific Name Common Name.....	Size	Type
7	Pia	Picea abies Norway Spruce.....	6'-8'	Evergreen
6	Pio	Picea omorika Serbian Spruce.....	6'-8'	Evergreen
7	IIS	Ilex opaca 'Satyrl Hill' (female variety).....	6'-8'	Evergreen (Broadleaf)
4	Cec	Cercis canadensis Redbud.....	6'-8'	Ornamental Tree
4	Chv	Chionanthus virginicus Fringe Tree.....	6'-8'	Ornamental Tree
4	Mav	Magnolia virginiana Sweetbay Magnolia.....	6'-8'	Ornamental Tree
3	AcR	Acer rubrum 'Red Sunset' Red Maple.....	2.5'-3'	Shade Tree
4	Ben	Betula nigra 'Heritage' River Birch.....	2.5'-3'	Shade Tree
3	Ceo	Celtis occidentalis Hackberry.....	2.5'-3'	Shade Tree
6	Clk	Cladastis kentukea Yellowwood.....	2.5'-3'	Shade Tree
6	Osv	Ostrya virginiana Hop Hornbeam.....	2.5'-3'	Shade Tree
4	Qub	Quercus bicolor Swamp White Oak.....	2.5'-3'	Shade Tree
6	Qup	Quercus phellos Willow Oak.....	2.5'-3'	Shade Tree

Number of species: 13
Maximum number of any one species: 7 (11%)
Maximum permitted: 20%

1. STREET TREES –
1 TREE / 40 LF ALONG WEST BEIDLER ROAD FROM LOT 1 TO LOT 10
= 352 LF = 9 STREET TREES

2.1 CANOPY TREE / 50 LF OF BUILDING PERIMETER
520 LF / 50 LF = 11 TREES

3. DWELLING UNIT –
1 CANOPY TREE / 2 DWELLING UNITS
9 UNITS / 2 = 5 TREES

1 TREE / ISLAND & SHRUBS = 12 SHRUBS
SCREEN PARKING FROM PUBLIC ROAD

PROPERTY LINE	CANOPY TREES	UNDERSTORY TREES	EVERGREEN TREES
N85°56'00"E	4	8	8
S04°04'00"E	2	4	4

TOTAL PROVIDED	
CANOPY TREES	6
UNDERSTORY TREES	12
EVERGREEN TREES	12

INSPECT TREES AND SHRUBS TO
EVALUATE HEALTH, REPLACING IF
NECESSARY.

QUARTERLY.

Shade Tree

Ornamental Tree

Needled Evergreen

Broadleaf Evergreen

Deciduous Shrub

FADED LINES: EXISTING

	NPDES PERMIT BOUNDARY
	LIMIT OF DISTURBANCE LINE
	PROPERTY LINE
	RIGHT-OF-WAY
	BUILDING SETBACK LINE
	EDGE OF PAVEMENT
	MONUMENT OR PIN (FOUND) (FOUND AND HELD) (TO BE SET)
	1' INTERVAL CONTOUR
	PROPOSED INTERVAL
	5' INDICATOR CONTOUR
	PROPOSED INDICATOR
	2' LIDAR CONTOURS
	STORM SEWER PIPING
	STORMWATER MANHOLE
	STORMWATER INLET
	STORM CLEAN OUT
	SANITARY SEWER PIPING
	GAS MAIN
	WATER MAIN / SERVICE
	UNDERGROUND ELECTRIC
	OVERHEAD WIRES & POLES
	COMMUNICATION
	HYDRANT
	WATER VALVE
	WATER METER
	SANITARY VENT
	SANITARY CLEAN OUT
	SANITARY MANHOLE
	GAS METER
	GAS VALVE

BUILDINGS

PORCH/ROOF LINES

WALKS & PADS

ASPHALT

WALLS

EDGE OF LANDSCAPING

FENCE LINE

LIGHT POLE

SOIL BOUNDARY

& MAP SYMBOL

NORTH AMERICAN GREEN VMAX C350

TURF REINFORCEMENT MATTING

STREAM

WETLANDS W/FLAGS

FLOODWAY

SLOPES, 15-25%

STEEP SLOPES, >25%

NATURAL MAN-MADE
OR <6' CHANGE

See Sheet L1.2 for shrub plantings, quantities and schedule
See Sheet L2.1 for planting details and specifications

CALL BEFORE YOU DIG! PA-1-CALL 811

450 West Beidler Road,
King of Prussia, PA
Upper Merion Township
Montgomery County

Forrester Landscape Studio LLC
516 Tennis Ave, Ambler PA (267) 847-1726

PLANT SCHEDULE (SHRUBS)

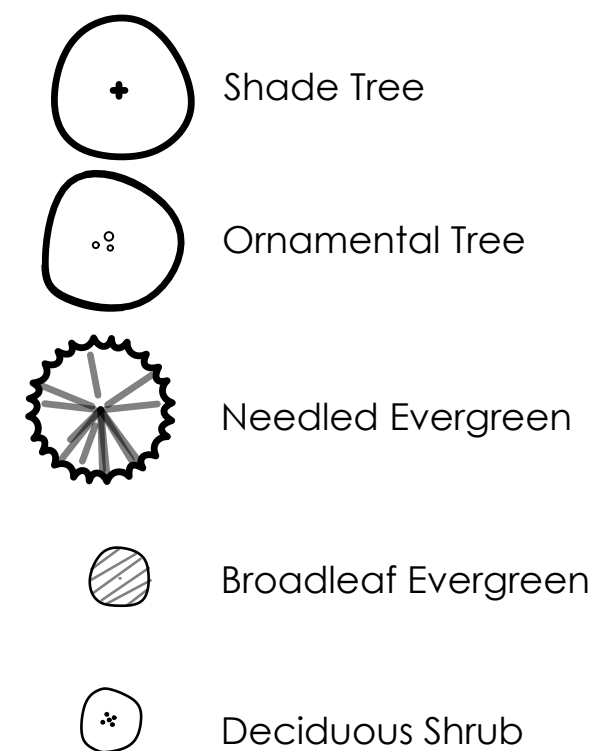
Qty	Tag	Scientific Name Common Name.....	Size
12	ArH	Aronia melanocarpa 'Lowscape Hedge' Hedge Farm Chokeberry...	18"
3	FoM	Fothergilla gardenii 'Mt Airy' Mount Airy Fothergilla.....	18"
19	IC	Ilex meserveae 'Castle Spire' Castle Spire Holly.....	24-36"
63	ID	Ilex glabra 'Densa' Compact Inkberry.....	
8	Pij	Pieris japonica 'Mountain Fire' Japanese Andromeda.....	18"
24	RHP	Rhododendron PJM PJM Hybrid Rhododendron.....	18"

NOTES:

1. ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, MOST RECENT EDITION.
2. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP'S PLANTING STANDARDS AND SPECIFICATIONS. SEE DETAILS ON THIS SHEET FOR SOIL ADMIXTURE REQUIREMENTS, MULCHING AND STAKING/GUYING.
3. ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF 18 MONTHS FOLLOWING FINAL APPROVAL BY TOWNSHIP.
4. PLANT SUBSTITUTIONS SHALL BE APPROVED BY TOWNSHIP OR OWNER'S REPRESENTATIVE.
5. PRIOR TO INSTALLATION, PLANT LOCATION, HEALTH AND SIZE SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.

See sheet L2.1 for details and additional specifications

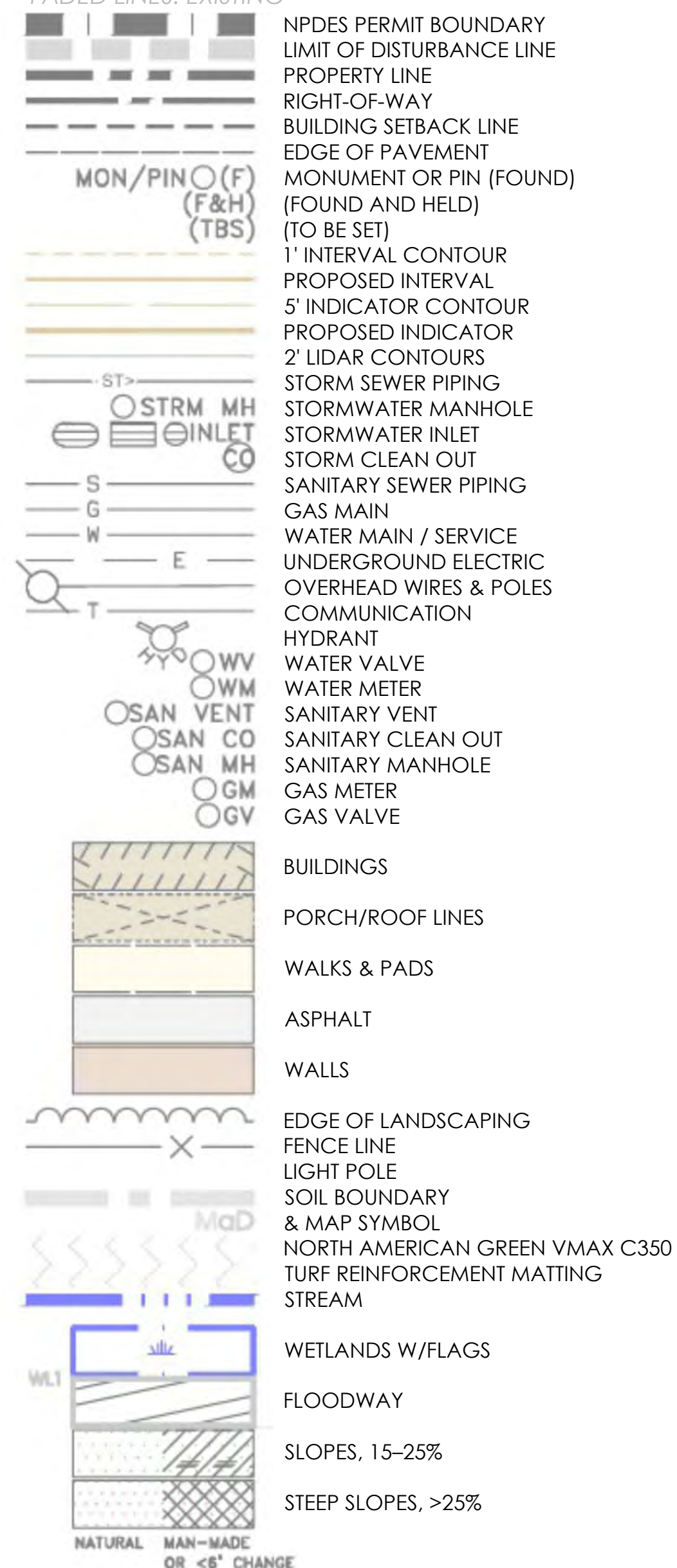
LEGEND



BASE INFORMATION:

BOLD LINES: PROPOSED

FADED LINES: EXISTING

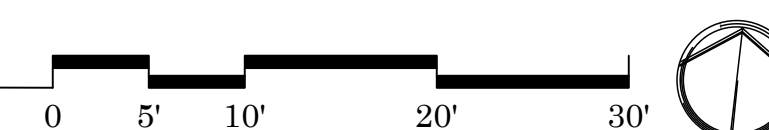
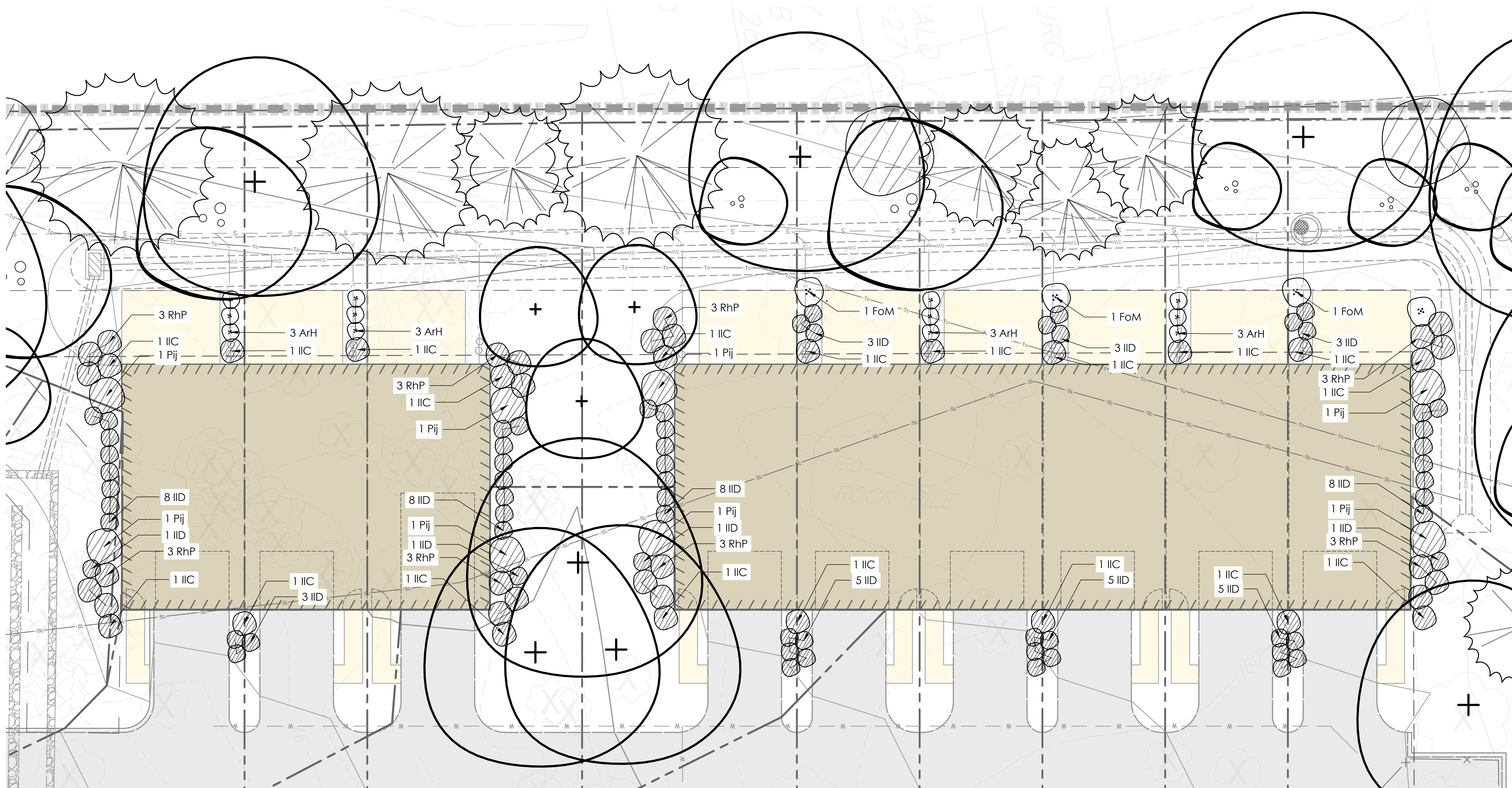


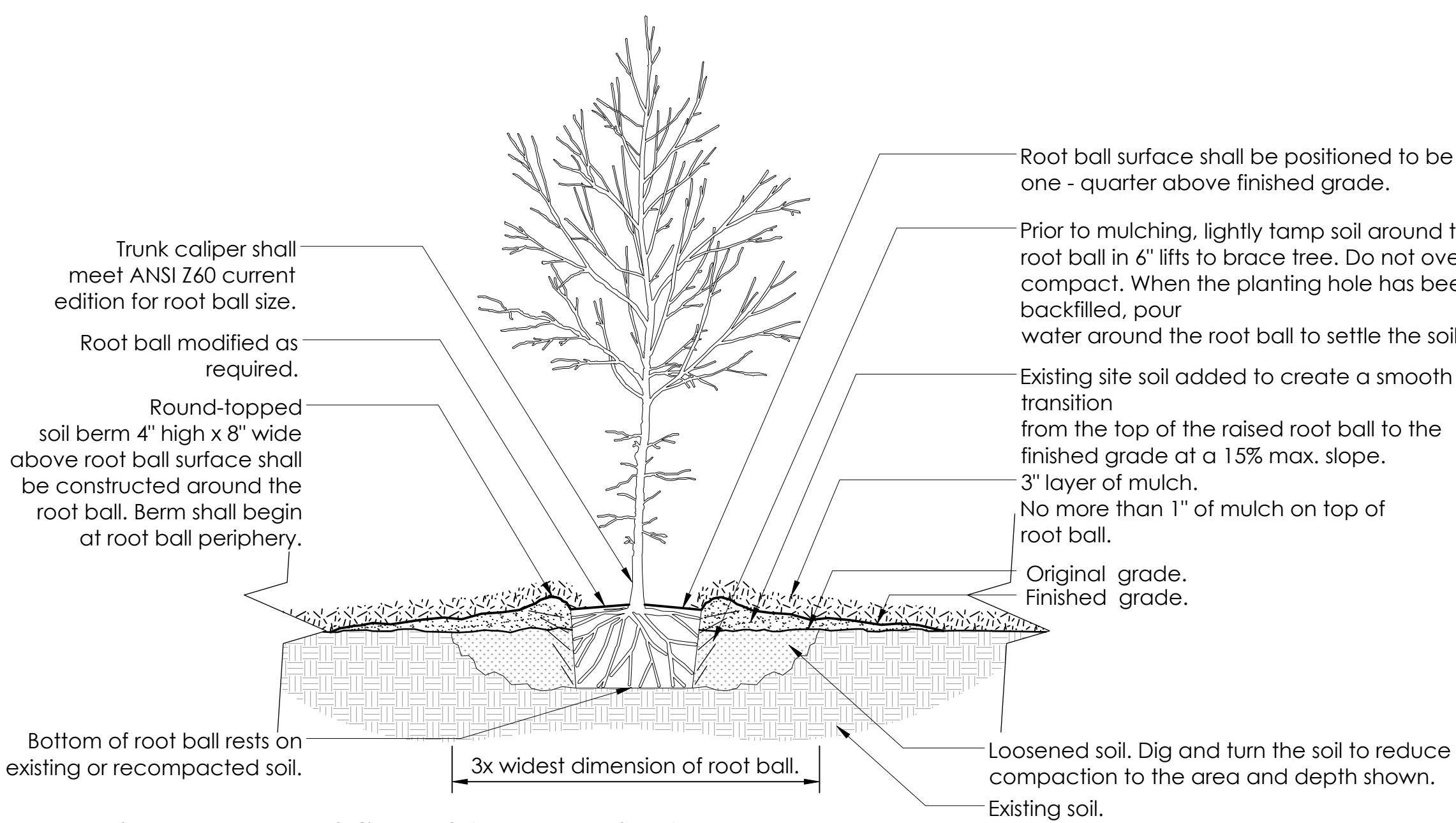
12/22/2025

Planting Plan

L1.2
SHEET 19 OF 21

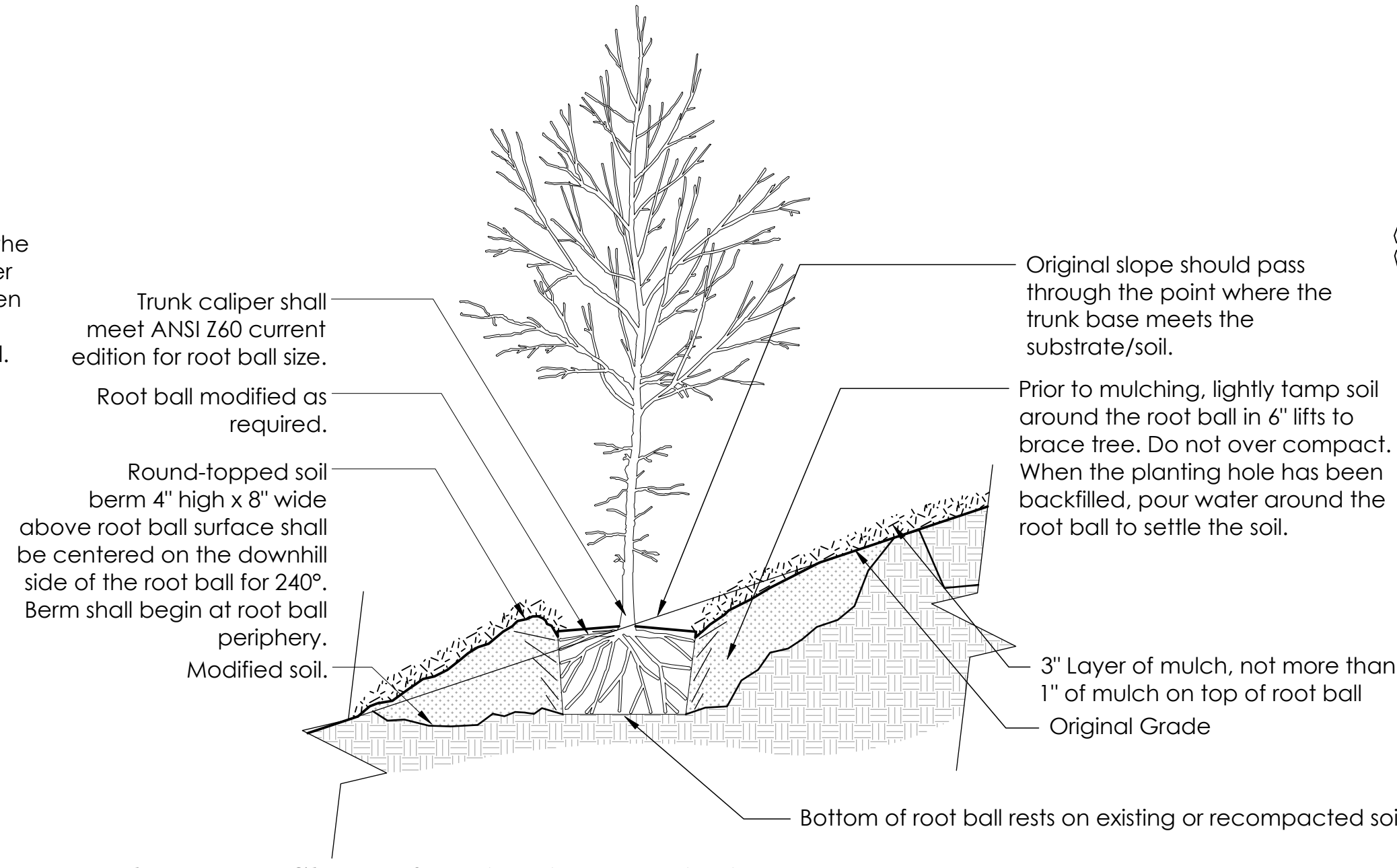
Planting Plan (Shrubs)





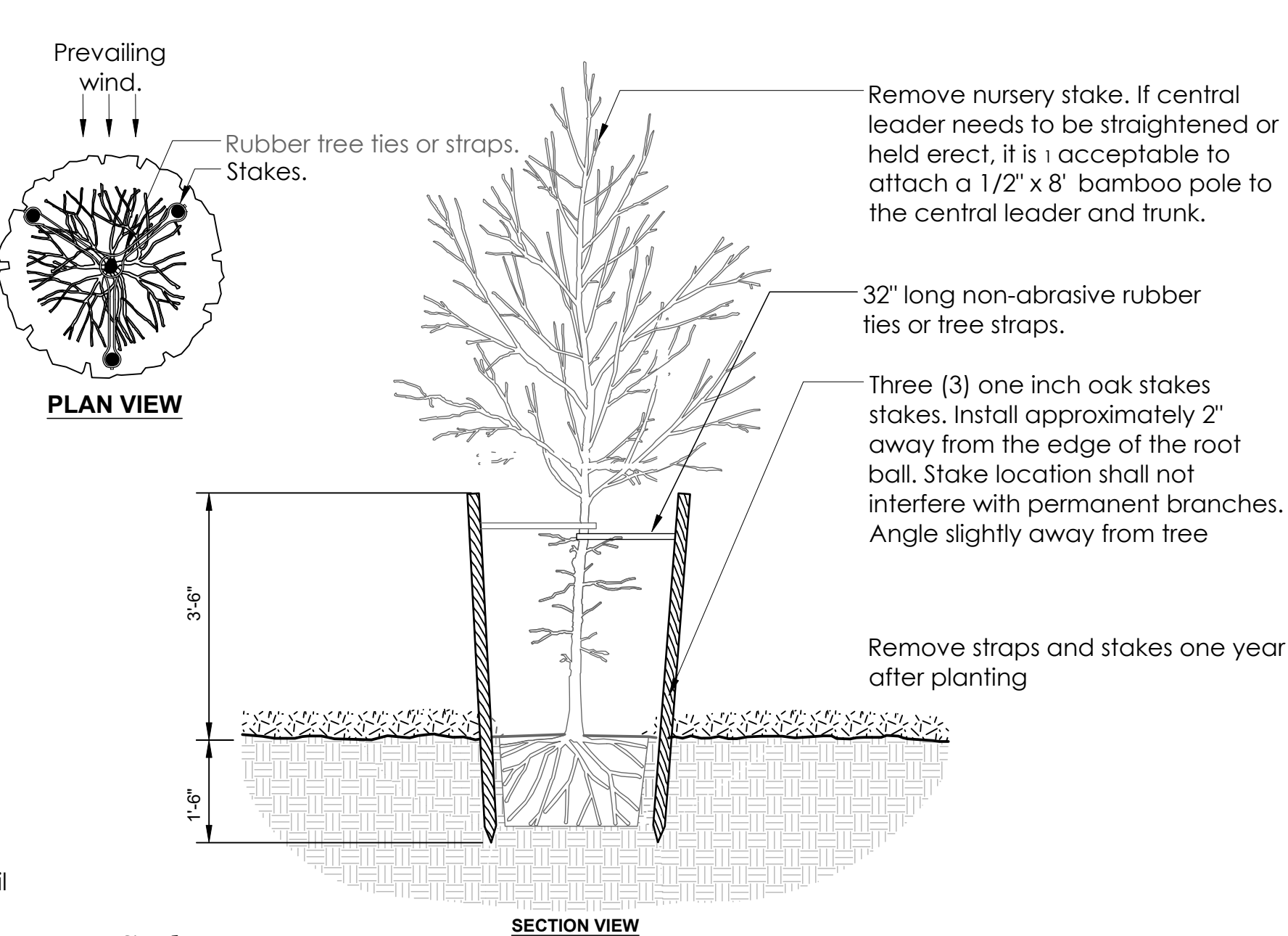
Tree Planting on Level Ground (up to 5% slope)

NTS



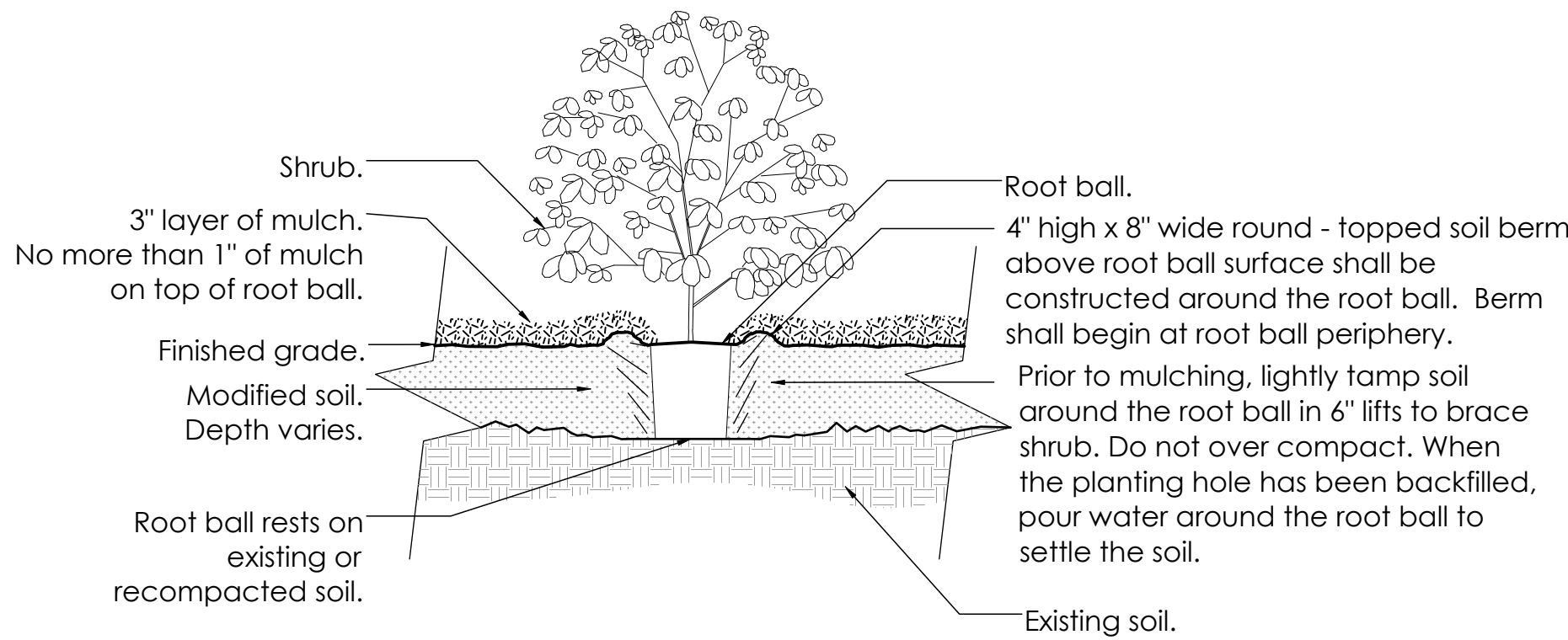
Tree Planting on Slopes of 5% (20:1) to 50% (2:1)

NTS



Tree Staking

NTS



Shrub Planting on Level Ground (Up to 5%)

NTS

LANDSCAPE NOTES:

1. PLANT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL STAKE LOCATIONS FOR APPROVALS BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
2. PROVIDE CONTINUOUS MULCH (3" THICK) IN ALL BEDDING AND GROUND COVER AREAS AND AT THE BASE OF SPECIMEN TREES.
3. SIZES OF PLANT MATERIAL GIVEN ARE TO BE CONSIDERED MINIMUM.
4. NO SUBSTITUTIONS FOR PLANT MATERIAL ARE ACCEPTABLE UNLESS APPROVED BY THE TOWNSHIP.
5. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE, INCLUDING WATERING OF PLANT MATERIAL UNTIL JOB IS TURNED OVER TO OWNER.
6. CONTRACTOR SHALL LOOSEN SUBGRADE OF PLANTING BED AREAS TO A MINIMUM DEPTH OF TWENTY-FOUR INCHES (24") USING A CULTIMULCHER OR SIMILAR EQUIPMENT. REMOVE STONES ONE TO ONE AND A HALF INCHES (1"-1-1/2") IN ANY DIMENSIONS AND STICKS, RUBBISH AND OTHER EXTRANEIOUS MATERIAL.
7. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR SUSPECTED, SUCH AS RUBBLE FILL, UNACCEPTABLE TOPSOIL, ADVERSE DRAINAGE CONDITIONS OR OTHER OBSTRUCTIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING BEFORE PLANTING ANY TREES, SHRUBS OR LAWN AREAS.
8. TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
9. TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE OF DISEASES AND INSECT INFESTATIONS.
10. TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.

11. ALL PLANTING BEDS SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH INSTALLED AT A MINIMUM DEPTH OF THREE INCHES (3").
12. ALL PLANTING BEDS WITHOUT SHRUB OR GROUND COVER PLANT MATERIAL SHALL BE PLANTED WITH A BLUE GRASS SEED MIX.
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PLAN.
14. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER AND/OR LANDSCAPE ARCHITECT.
15. THIS PLAN IS INTENDED FOR LANDSCAPE PURPOSES ONLY.
16. NO MORE THAN FIVE INCHES (5") OF SOIL SHALL BE PLACED AROUND THE TRUNKS OF TREES WHICH ARE TO REMAIN. FOR THOSE TREES WHICH ARE TO REMAIN, WHERE MORE THAN FIVE INCHES (5") OF SOIL ARE TO BE PLACED, TREE WELLS SHALL BE CONSTRUCTED TO PRESERVE SUCH TREES.
17. ALL SIZES AND GRADING STANDARD FOR PLANT MATERIALS SHALL CONFORM WITH THE LATEST EDITION OF AMERICAN STANDARD OF NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., AND APPROVED MAY 2, 1986 BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. OR THE LATEST REVISED EDITION OF THIS STANDARD.
18. TOPSOIL REMOVED BY GRADING OPERATIONS SHALL BE REDISTRIBUTED AND STABILIZED AS SOON AS POSSIBLE FOLLOWING THE COMPLETION OF A PHASE OF WORK OR THE ENTIRE PROJECT. ALL EXPOSED EARTH SURFACES SHALL BE STABILIZED BY THE FOLLOWING METHODS OR APPROVED EQUAL:
(A) SEEDING OR PLANTING OF SLOPES WITH A GRADIENT OF THIRTY PERCENT (30%) OR LESS STEEP.
(B) SODDING OR HYDRO SEEDING OF SLOPES WITH A GRADIENT OF THIRTY PERCENT (30%) OR MORE STEEP.
19. ALL TREES TO BE RETAINED SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS. THE CONTRACTOR SHALL LABEL EACH TREE AND SHRUB WITH SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.

20. ALL DISTURBED AREAS ARE TO BE SEEDED TO ESTABLISH A VIABLE LAWN.
21. ANY TREE OR SHRUB THAT DIES WITHIN EIGHTEEN (18) MONTHS OF THE DEDICATION OF PUBLIC IMPROVEMENTS OF OCCUPANCY SHALL BE REPLACED. ANY TREE OR SHRUB WHICH, WITHIN THE AFOREMENTIONED TIME PERIOD DEEMED, IN THE OPINION OF AN AGENT AUTHORIZED BY THE TOWNSHIP, NOT TO HAVE SURVIVED OR GROWN IN A MANNER CHARACTERISTIC OF ITS TYPE SHALL BE REPLACED. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE TOWNSHIP.
22. CLEAR SIGHT TRIANGLES SHALL BE PROVIDED AT ALL STREET INTERSECTIONS. WITHIN SUCH TRIANGLES NO VISION-OBSTRUCTING OBJECT SHALL BE PERMITTED WHICH OBSCURES VISION ABOVE THE HEIGHT OF 24 INCHES AND BELOW 10 FEET, MEASURED FROM THE CENTERLINE GRADE OF INTERSECTING STREETS. EACH SIDE OF THE SIGHT TRIANGLE SHALL BE A MINIMUM OF 75 FEET, MEASURED FROM THE POINT OF INTERSECTION ALONG EACH ROAD CENTERLINE.
23. ALL SHRUBS ARE TO BE PLANTED MASSED TOGETHER IN MULCHED PLANTING BED.
24. ALL STAKES AND STRAPS AT THE TREES MUST BE REMOVED AFTER ONE YEAR.
25. ALL PLANTS SHALL CONFORM WITH THE STANDARDS FOR NURSERY STOCK OF AMERICAN ASSOCIATION OF NURSERYMEN.
26. PLANTING SOILS SHALL CONSIST OF 4 PARTS ORGANIC TOPSOIL, 1 PART PEAT HUMUS, 1 PART WASHED SAND.
27. TOPSOIL SHALL HAVE THE FOLLOWING COMPOSITION AND MAKE UP:
(A) SHALL CONTAIN ORGANIC MATTER SUITABLE TO SUPPORT PLANT LIFE, INCLUDING A COMPOSITION OF APPROXIMATELY 5-10% SAND, 7-16% ORGANIC MATERIAL, NO MORE THAN 30% WEIGHT OF CLAY.
(B) SHALL BE WEED FREE (ABSENCE OF LIVING WEED CONTAMINATION).
(C) SHALL HAVE LESS THAN 2% BY WEIGHT OF UNWANTED MATERIALS SUCH AS STONES (NO LARGER THAN 12mm IN DIAMETER IN THE TOP 50mm), CONCRETE, STEEL, CLAY LUMPS, TREE ROOTS, STICKS OR OTHER INORGANIC MATERIAL.
28. NO TREES SHALL BE PLANTED CLOSER THAN FIFTEEN (15') FEET FROM THE FIRE HYDRANTS OR STOP SIGNS.
29. NO TREES SHALL BE PLACED WITH THEIR CENTERS LESS THAN FIVE (5) FEET FROM

- ANY PROPERTY LINE AND NO SHRUBS WITH THEIR CENTERS LESS THAN THREE (3) FEET FROM ANY PROPERTY LINE.
30. EXISTING TREES AND SHRUBS AT THE CORNER OF AN INTERSECTION OF STREETS AND/OR DRIVEWAYS SHALL BE CUT TO THE HEIGHT OF TWENTY-FOUR INCHES (24") FROM POINT OF INTERSECTION OF CORNER PROPERTY LINES BACK SEVENTY-FIVE FEET (75') TO AVOID BLOCKING SIGHT DISTANCE ON ONCOMING TRAFFIC, AND SHRUBS OR GROUNDCOVERS TO BE PLANTED SHALL BE OF THE MATURE VARIETY AND SHALL NOT EXCEED TWENTY-FOUR INCHES (24") IN HEIGHT AT MATURITY.
31. ALL TREES ALONG THE RIGHT-OF-WAY OF ANY PROPERTY SHALL BE KEPT TRIMMED NINE FEET (9') ABOVE ANY SIDEWALK AND ELEVEN FEET (11') ABOVE ALL STREETS. AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES MUST BE ACHIEVED FOR EMERGENCY VEHICLE ACCESS.
32. PROPER SIGHT LINES SHALL BE MAINTAINED AT ALL INTERSECTIONS OF STREETS. THERE SHALL BE A CLEAR SIGHT TRIANGLE MEASURING SEVENTY-FIVE FEET (75') ALONG THE INTERSECTING STREET LINES FROM THE POINT OF INTERSECTION INDICATING ON THE PLAN, THAT IS MAINTAINED FREE AND CLEAR OF STRUCTURES, SIGNS AND OTHER VISUAL OBSTRUCTIONS.