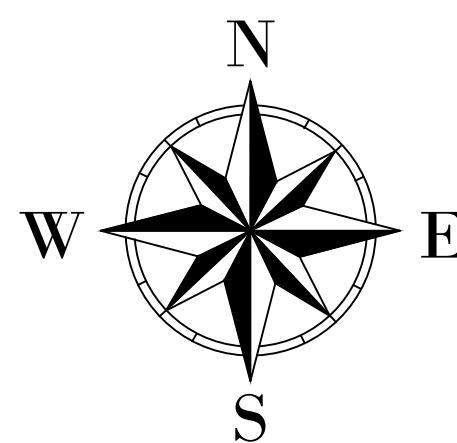


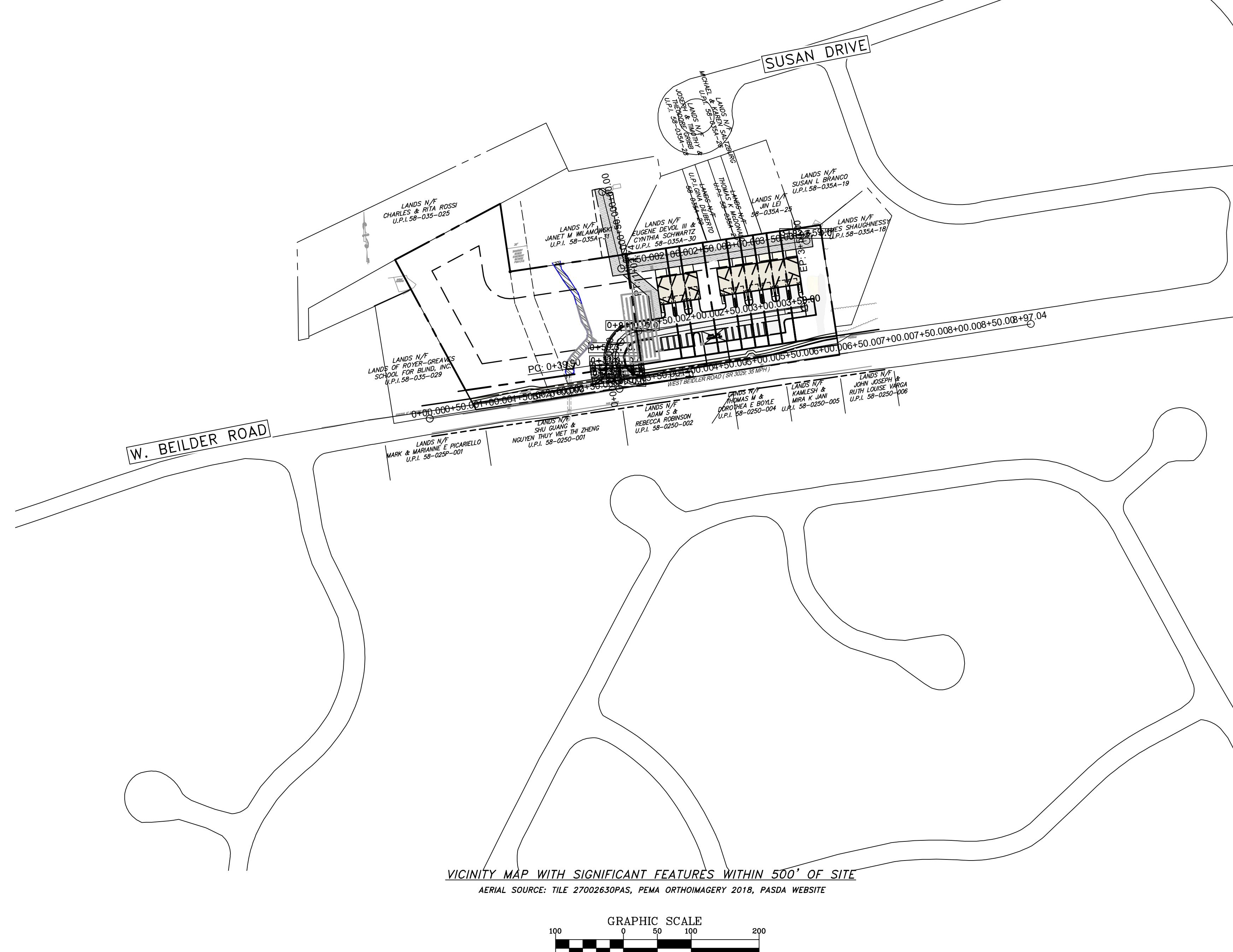
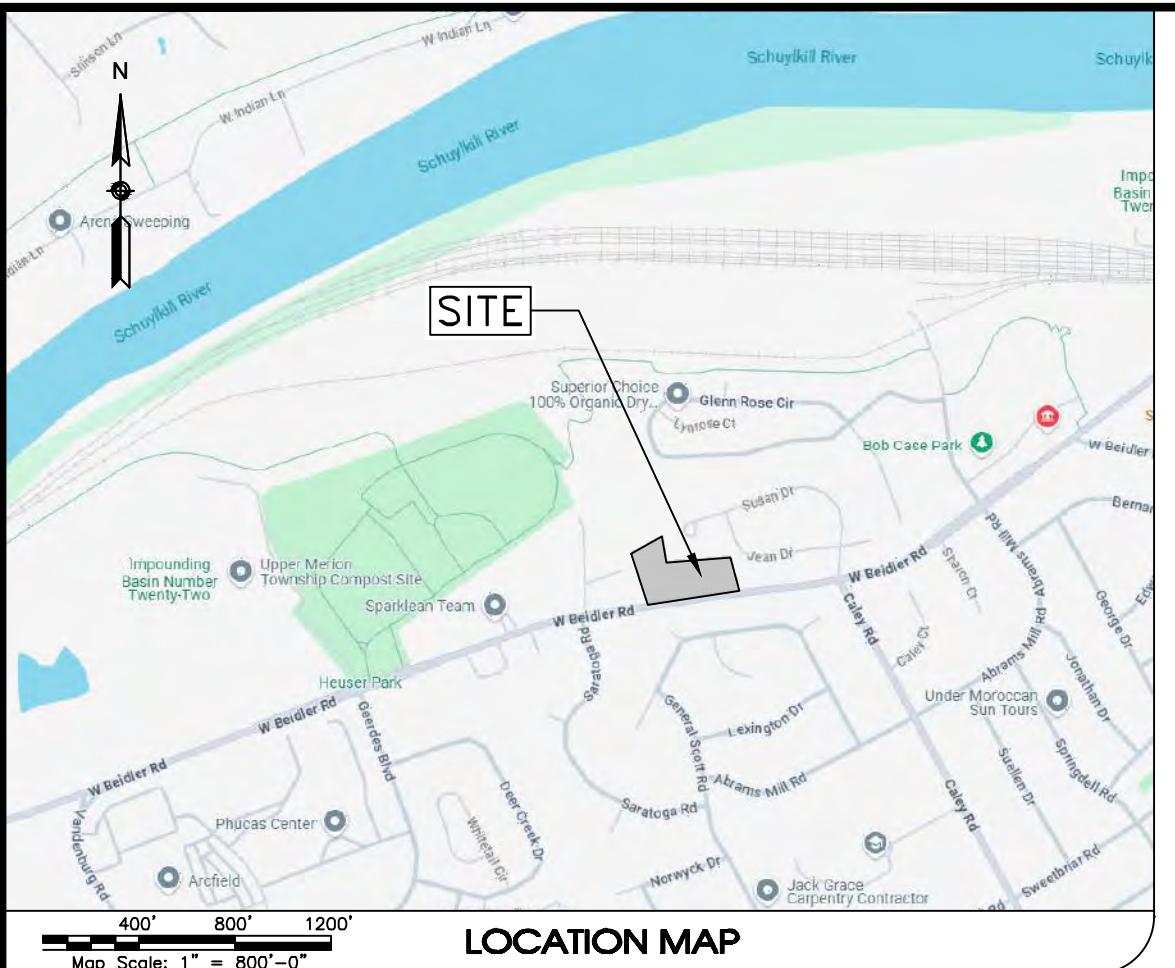
SUBDIVISION AND LAND DEVELOPMENT PLAN

450 WEST BEIDLER ROAD

BLOCK 58-035-026 & 58-035A-114



LOCATION MAP



CIVIL ENGINEER:
SITE ENGINEERING CONCEPTS, LLC
ATTN: PATRICK SPELLMAN, P.E.
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: (610) 523-9002
E: PSPELLMAN@SITE-ENGINEERS.COM

APPLICANT/ OWNER:
PARKVIEW HOMES AT VALLEY FORGE, LLC
ATTN: RUDOLPH CELLI
125 STRAFFORD AVE, SUITE 115
P: (610) 291-8838
E: RCELLI@CELLILAW.COM

DRAWING SCHEDULE	
1.	COVER SHEET
2.	FINAL RECORDING PLAN
3.	EXISTING CONDITIONS & NATURAL RESOURCES PLAN
4.	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
5.	PCSM DETAILS
6.	PCSM DETAILS & NOTES
7.	PCSM DRAINAGE AREA MAPS
8.	EROSION & SEDIMENT CONTROL PLAN – EXISTING CONDITIONS
9.	E&SC PLAN – POST CONDITIONS
10.	E&SC PLAN NOTES & DETAILS
11.	E&SC PLAN DETAILS
12.	STREAM STABILIZATION DETAILS
13.	GRADING & UTILITY PLAN
14.	MISCELLANEOUS CONSTRUCTION DETAILS & NOTES
15.	SANITARY PROFILE, DETAILS & NOTES
16.	STORM SEWER PROFILE
17.	ROAD & DRIVE PROFILE
LANDSCAPE PLANS PREPARED BY JESSE FORRESTER, RLA, FORRESTER LANDSCAPE STUDIOS	
18.	L1.1 PLANTING PLAN
19.	L1.2 PLANTING PLAN
20.	L2.1 PLANTING PLAN
21.	LT1.1 LIGHTING PLAN

PROPERTY OWNER

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ON THE _____ DAY OF _____, 20_____, BEFORE ME, THE
PERSONALLY APPEARED, _____, WHO ACKNOWLEDGED HIM/HERSELF
TO BE THE _____ OF _____, OWNER OF THE PROPERTIES PROPOSED
TO DO SO, ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF THE PROPERTIES SHOWN
SITUATED IN THE TOWNSHIP OF RADON, DELAWARE COUNTY, PENNSYLVANIA, AND DESCRIBED THAT THIS
PLAN IS MADE WITH THE OWNER'S FREE CONSENT AND INTENDED TO BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY

OWNER

UPPER MERION TOWNSHIP

THIS IS TO CERTIFY THE BOARD OF COMMISSIONERS HAS APPROVED THIS LAND DEVELOPMENT PLAN FOR
20_____, FOR RECORDING AT THE RECORDER OF DEEDS OF MONTGOMERY COUNTY, NORRISTOWN,
PENNSYLVANIA. OWNERS OF DEEDS OF RECORD HAVE BEEN ACCEPTED/REJECTED, BONDS, FUNDS OR SECURITIES IN
ESCROW HAVE BEEN FILED WITH THE TOWNSHIP AND ACCEPTED TO COVER ALL IMPROVEMENTS SHOWN ON
THE PLAN AND REQUIRED UNDER THE SUBDIVISION/LAND DEVELOPMENT AGREEMENT.

APPROVED THE ____ DAY OF ____ 20____.

BOARD OF COMMISSIONERS SIGNED THIS ____ DAY OF ____ 20____.

CHAIRMAN

MEMBER

TOWNSHIP ENGINEER

ATTEST: _____ MANAGER

MONTGOMERY COUNTY PLANNING COMMISSION:

REVIEWED BY THE MONTGOMERY COUNTY PLANNING COMMISSION THIS ____ DAY OF ____ 20____.

SECRETARY

RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF MONTGOMERY COUNTY AT NORRISTOWN,
PENNSYLVANIA IN THE

PLAN BOOK _____ PAGE _____ ON THE ____ DAY OF ____ 20____.

RECORDER OF DEEDS

	12/29/2025	DRAFT - INTERNAL REVIEW ONLY
3.	12/31/2025	TOWNSHIP SUBDIVISION & LDP SUBMISSION
2.	12/19/2025	RESPONSE TO 12/16/25 ADMIN INCOMPLETE REVIEW
1.	11/21/2025	RESPONSE TO 9/24/25 ADMIN INCOMPLETE REVIEW
NUM.	DATE	REVISION

PLAN PREPARED BY:

SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399

P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

LAND DEVELOPMENT PLAN/ NPDES PLAN

PLAN PREPARED FOR:

PARKVIEW HOMES AT VALLEY
FORGE, LLC

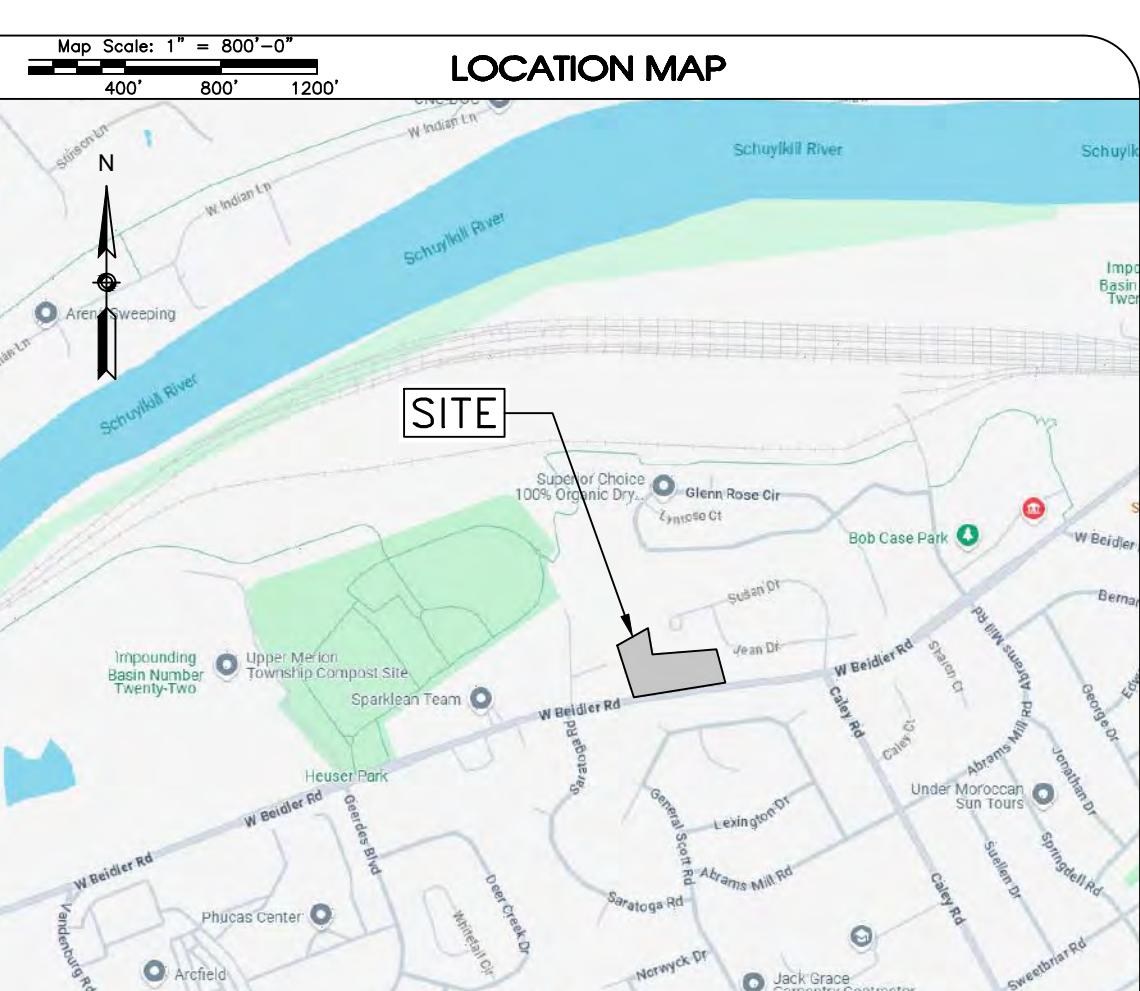
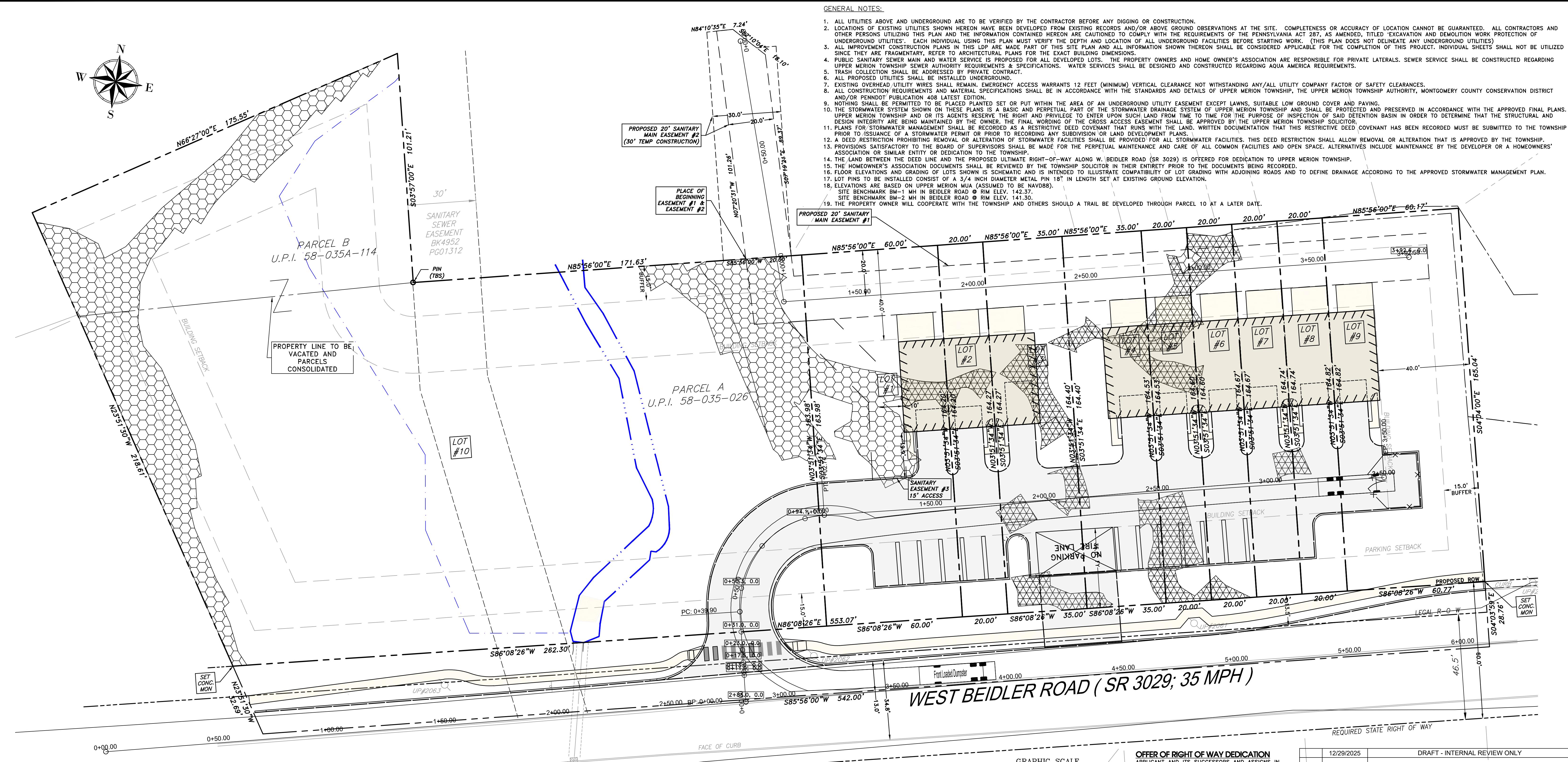
450 WEST BEIDLER ROAD, KING OF PRUSSIA
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

18 AUG 2025

COVER SHEET

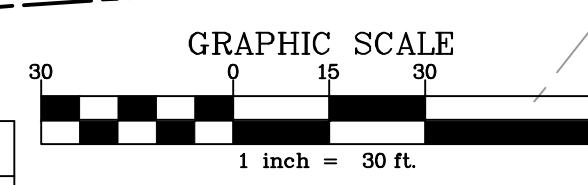
SHEET
1 of 19

SCALE: 1" = 100'



DENSITY CALCULATION (SF)	
GROSS LOT AREA	123,362
LESS	
EXISTING RIGHT OF WAY	-8,856
PROPOSED RIGHT OF WAY	-7,434
WETLANDS	-17,433
SLOPES	
> 25%	-12,758
1/2 of 15% to 20%	10740
NET-OUT EXCLUDE MAN-MADE & <6'	-5,370
HIGH	18,443
BUILDABLE AREA	89,954
ACRES	2.07
ALLOWABLE LOTS @ 6/AC	12
PER REFERENCE PLAN A	

ZONING SUMMARY									
R-3A RESIDENTIAL DISTRICT									
ORDINANCE ITEM	REQUIREMENT	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8
MIN. LOT AREA	2,100 SF	9,846 SF	3,285 SF	5,752 SF	5,756 SF	3,291 SF	3,293 SF	3,294 SF	3,296 SF
LOT WIDTH	20 FT	60.00 SF	20.00 SF	35.00 SF	35.00 SF	20.00 SF	20.00 SF	20.00 SF	20.00 SF
MIN. SETBACKS									
FRONT	25 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	78.9 SF	NA
SIDE	NA	NA	NA	NA	NA	NA	NA	NA	NA
REAR	20 SF	40.2 SF	40.3 SF	40.4 SF	40.6 SF	40.6 SF	40.2 SF	40.8 SF	40.9 SF
MAX. BUILDING COVERAGE	65 %	13.9 %	35.0 %	19.2 %	19.2 %	32.9 %	32.9 %	32.9 %	11.2 %



OFFER OF RIGHT OF WAY DEDICATION
 APPLICANT AND ITS SUCCESSORS AND ASSIGNS IN TITLE TO THE PROPERTY HEREBY MAKES AN OFFER TO DEDICATE ADDITIONAL RIGHT OF WAY (AS SHOWN ON THIS PLAN AS PROPOSED RIGHT-OF-WAY) OF 553.07 FEET ALONG THE FRONTRAGE OF THE PROPERTY ALONG BEIDLER ROAD. THIS OFFER OF DEDICATION SHALL BE A RESTRICTIVE COVENANT THAT RUNS WITH THE LAND WHICH MAY BE ENFORCED AND ACCEPTED BY THE TOWNSHIP AGAINST ALL SUCCESSORS AND ASSIGNS IN TITLE.

RESOLUTION 2023-23
 THIS FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN ADDRESSES THE CONDITIONS OF APPROVAL FROM RESOLUTION 2023-23 GRANTING APPROVAL OF THE LAND DEVELOPMENT AND WAIVERS AS DETAILED IN THE JULY 13, 2023 RESOLUTION.

SEWAGE PLANNING MODULE
 A SEWAGE PLANNING MAILER IS BEING PREPARED FOR SUBMISSION TO THE PDEP.

12/29/2025	DRAFT - INTERNAL REVIEW ONLY
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1. 11/21/2025	RESPONSE TO 9/24/25 ADMIN INCOMPLETE REVIEW
NUM.	DATE

PLAN PREPARED BY:

SITE ENGINEERING CONCEPTS, LLC
 P.O. BOX 1992
 SOUTHEASTERN, PA 19399

P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

LAND DEVELOPMENT PLAN / NPDES PLAN

PLAN PREPARED FOR:

PARKVIEW HOMES AT VALLEY FORGE, LLC
 450 WEST BEIDLER ROAD, KING OF PRUSSIA
 UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

18 AUG 2025

CONSOLIDATE LOT AREA CALCULATION (SF)

PARCEL	PARCEL A	PARCEL B	CONSOLIDATED PARCEL
GROSS LOT AREA	111,469	11,896	123,365
LESS	2.56 AC	0.27 AC	2.83 AC
EXISTING RIGHT OF WAYS	8,856	0	8,856
PROPOSED RIGHT OF WAY	7,434	0	7,434
NET LOT AREA	95,179	11,896	107,075
	2.19 AC	0.27 AC	2.46 AC

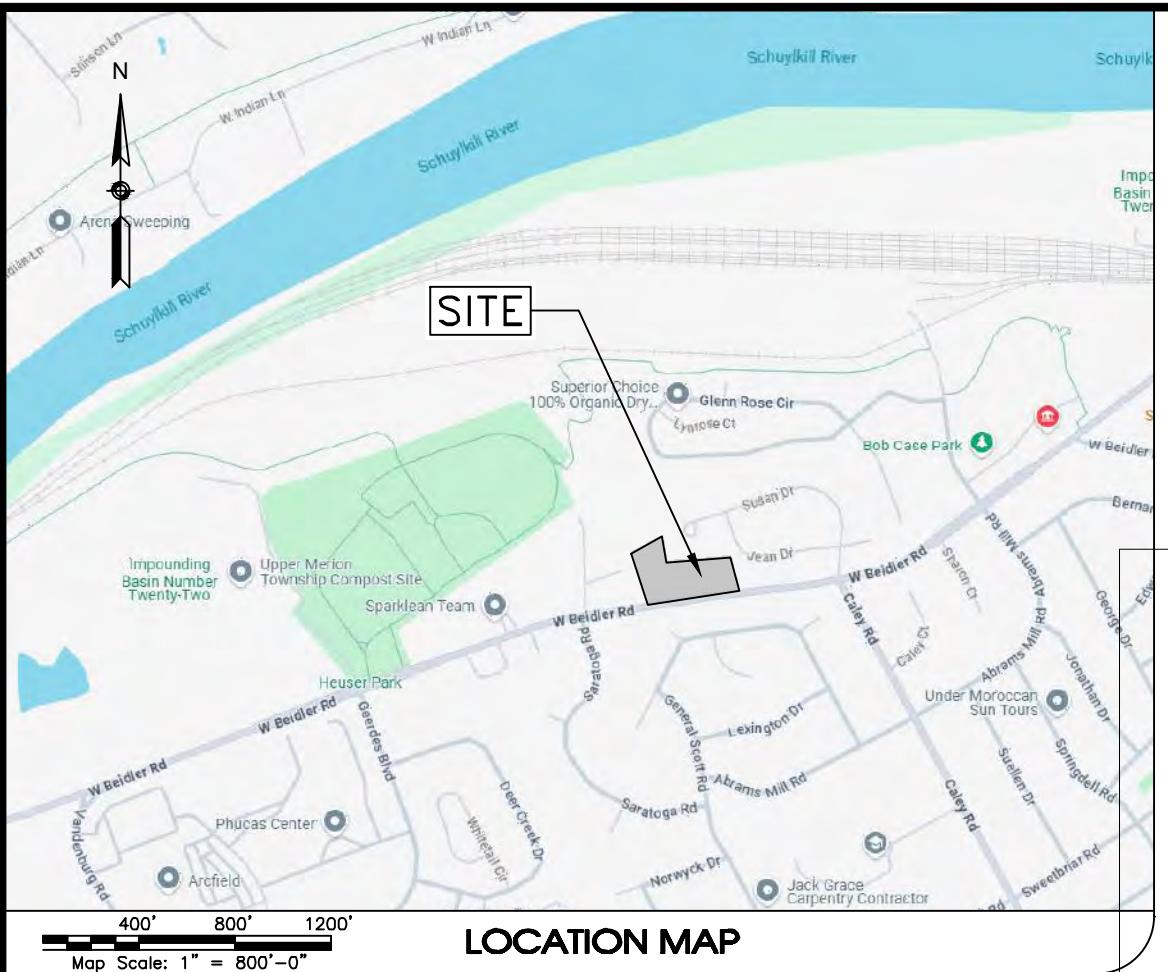
FINAL RECORD PLAN

SHEET 2 of 19

SCALE: 1" = 30'

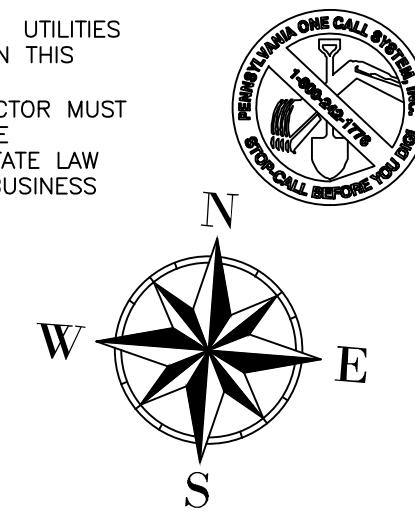
BASE PLAN NOTES

1. PARCEL INFORMATION:
 OWNER: PARKVIEW HOMES AT VALLEY FORGE, LLC
 450 WEST BEIDLER ROAD
 DEED BOOK 6375 PAGE 02545
 PARCEL: 58-00-01021-00-1 Block 58-035 Unit 026
 GROSS LOT AREA: 111,469 SF; 2.56 AC
2. PARCEL B:
 PARCEL: 58-00-01018-00-4 Block 58-035A Unit 114
 GROSS LOT AREA: 11,896 SF; 0.27 AC
3. REFERENCE PLANS:
 A. SUBDIVISION AND LAND DEVELOPMENT PLAN, PREPARED FOR PARKVIEW HOMES AT VALLEY FORGE, LLC, PREPARED BY TANS-PACIFIC ENGINEERING CORP. DATED 11/11/2020, REVISED 10/1/2025
 B. PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY BY LUDWIG SURVEY, JUNE 2025



NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATION AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20242952894

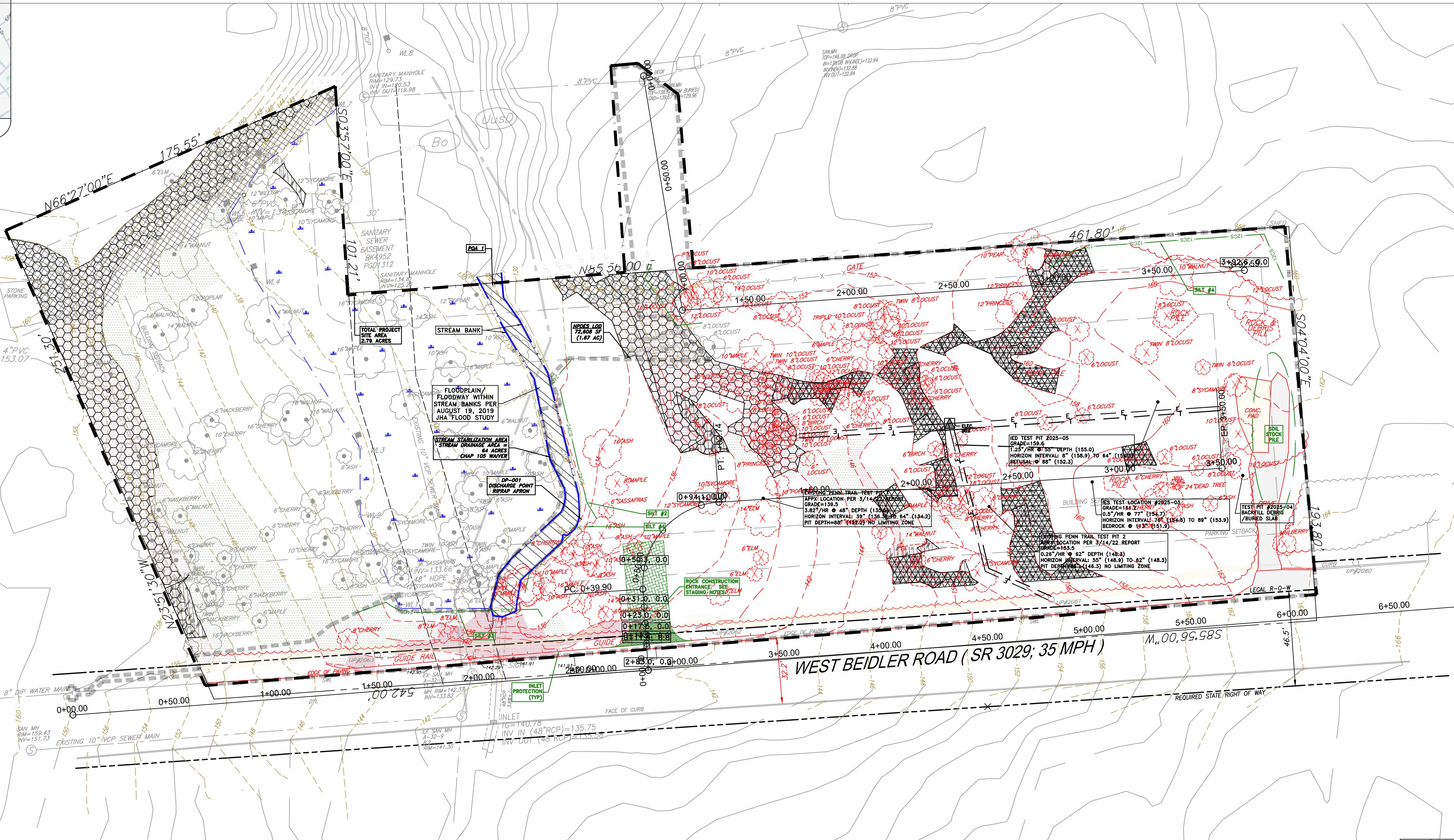


NATURAL RESOURCES NOTES

1. STORMWATER ULTIMATELY DISCHARGES TO THE SCHUYLKILL RIVER VIA UNIT.
2. NO WETLANDS CURRENTLY EXIST IN LIMIT OF DISTURBANCE AREA. EXISTING WETLANDS OUTSIDE OF LOD DELINEATED BY WOLF BIOSERVICES, INC., NOVEMBER 2018.
3. THERE ARE NO H2O / EW WATERSHEDS NEAR PROJECT SITE.
4. ALL STORMWATER FLOWS TOWARDS POINT OF INTEREST #1, SCHUYLKILL RIVER.
5. NO RIPARIAN BUFFERS EXIST ON SITE.
6. FLOODPLAIN/FLOODWAY DELINEATION PER "FLOOD STUDY", PREPARE FOR 450 W BEIDLER ROAD, PREPARE BY JHA COMPANIES, DATED AUGUST 8, 2019.

PLAN LEGEND

BOLD LINES: PROPOSED
FADED LINES: EXISTING
RED LINES: H2O
DASHED LINES: PERMIT BOUNDARY
LIMIT OF DISTURBANCE LINE
PROPERTY LINE
LINE OF FENCE
BUILDING SETBACK LINE
EDGE OF PAVEMENT
MONUMENT OR PIN (FOUND)
MONUMENT OR PIN (TO BE SET)
(TBS)
1' INTERVAL CONTOUR
PROPOSED 1' INTERVAL CONTOUR
PROPOSED INDICATOR
2' LIDAR CONTOURS
STORM SEWER PIPING
WATER MAIN/ SERVICE
STORMWATER INLET
SANITARY SEWER
WATER MAIN / SERVICE
UNDERGROUND ELECTRIC
OVERHEAD WIRES & POLES
HYDRANT
WATER VALVE
WATER METER
SANITARY CLEAN OUT
SANITARY MANHOLE
GAS METER
GAS VALVE
BUILDINGS
PORCH/ ROOF LINES
ASPHALT
WALKS & PADS
WALLS
EDGE OF LANDSCAPING
FENCE LINE
LIGHT POLE
SOIL BOUNDARY
SOIL TEST
NORTH AMERICAN GREEN VMAX C350
TURF REINFORCEMENT MATTING
STREAM
WETLANDS W/FLAGS
FLOODWAY
SLOPES, <15%
SLOPES, 15-25%
STEEP SLOPES, >25%
NATURAL MAN
OR <6" CHANGE



GRAPHIC SCALE
30 0 15 30 60
1 inch = 30 ft.

12/29/2025	DRAFT - INTERNAL REVIEW ONLY
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REVISION

PLAN PREPARED BY:

SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399

P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

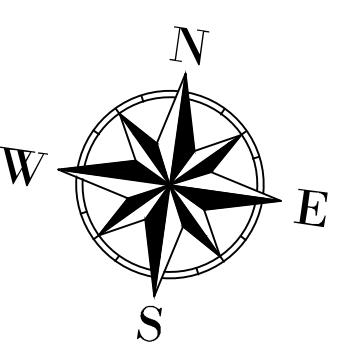
LAND DEVELOPMENT PLAN / NPDES PLAN

PLAN PREPARED FOR:

PARKVIEW HOMES AT VALLEY FORGE, LLC
450 WEST BEIDLER ROAD, KING OF PRUSSIA
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

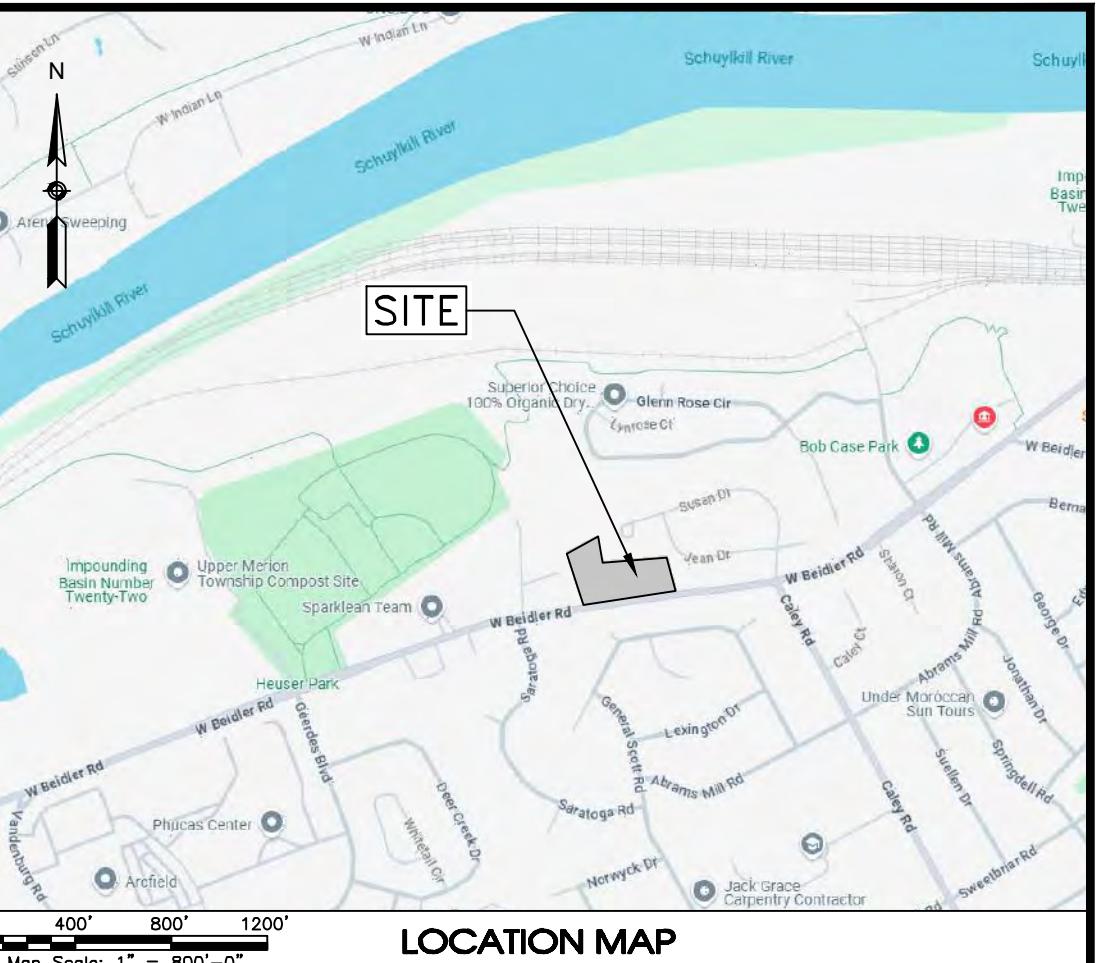
SUBDIVISION NAME
PARKVIEW HOMES AT VALLEY FORGE
OWNER/ APPLICATE
PARKVIEW HOMES AT VALLEY FORGE, LLC
125 STRATFORD AVE, SUITE 155
WAYNE, PA 19087
ENGINEER
SITE ENGINEERING CONCEPTS, LLC
ATTN: PATRICK SPELLMAN, P.E.
PO BOX 1992
SOUTHEASTERN, PA 19399-1992

EXISTING CONDITIONS & NATURAL RESOURCES PLAN
18 AUG 2025
SHEET 3 of 19
SCALE: 1" = 30'

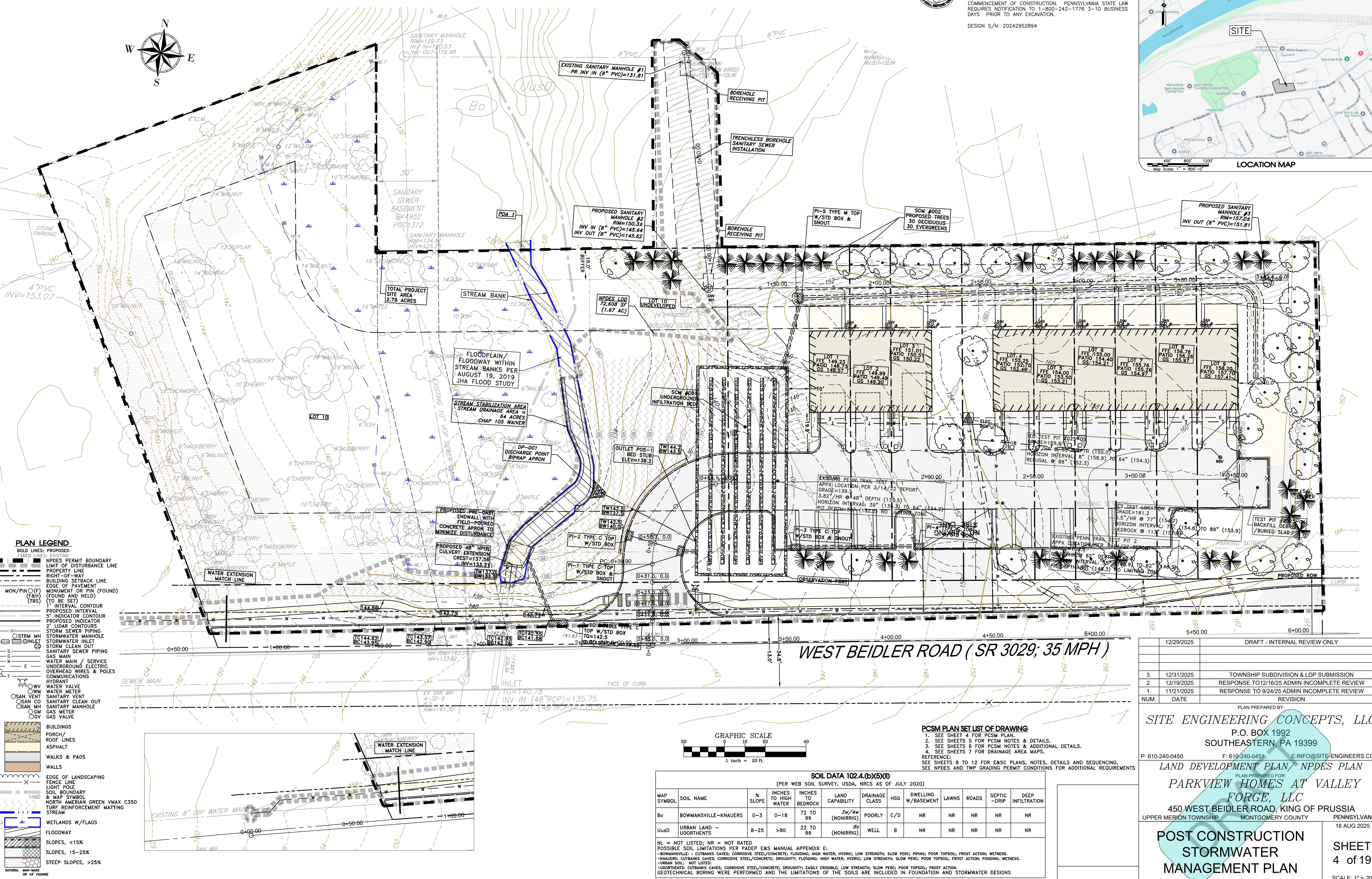


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DESIGN S/N: 20242952894



LOCATION MAP



Pond Report

Hydroflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Wednesday, 11/19/2025

Pond No. 1 - 36IN PIPE & STONE BED

Pond Data

UG Chambers -Invert elev = 136.00 ft, Rise x Span = 4.00 x 4.00 ft, Barrel Len = 90.00 ft, No. Barrels = 7, Slope = 0.00%, Headers = Yes

Encasement -Invert elev = 135.50 ft, Width = 6.23 ft, Height = 5.00 ft, Voids = 40.00%

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cft)	Total storage (cft)
0.00	135.50	n/a	0	0
0.50	136.00	n/a	894	894
1.00	136.50	n/a	1,284	2,178
1.50	137.00	n/a	1,561	3,740
2.00	137.50	n/a	1,689	5,429
2.50	138.00	n/a	1,745	7,174
3.00	138.50	n/a	1,747	9,021
3.50	139.00	n/a	1,688	10,608
4.00	139.50	n/a	1,561	12,169
4.50	140.00	n/a	1,284	13,453
5.00	140.50	n/a	894	14,347

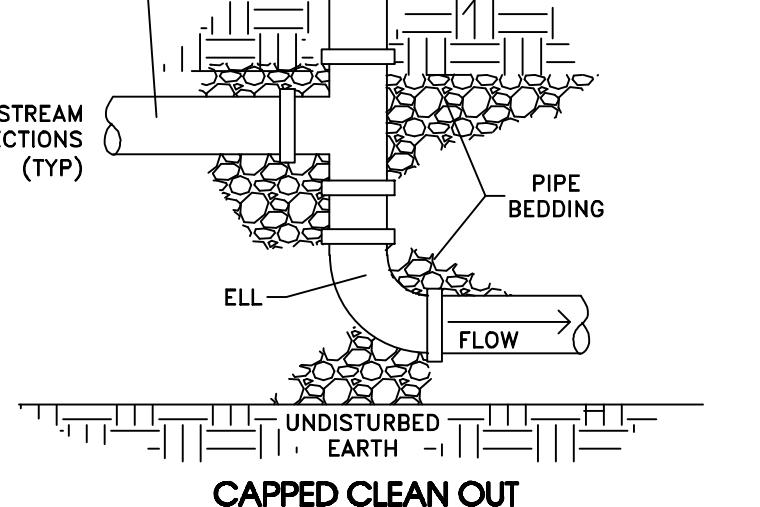
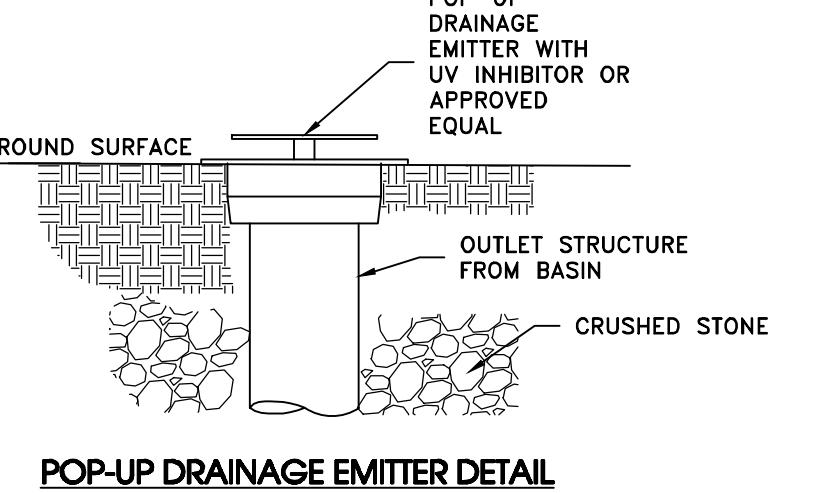
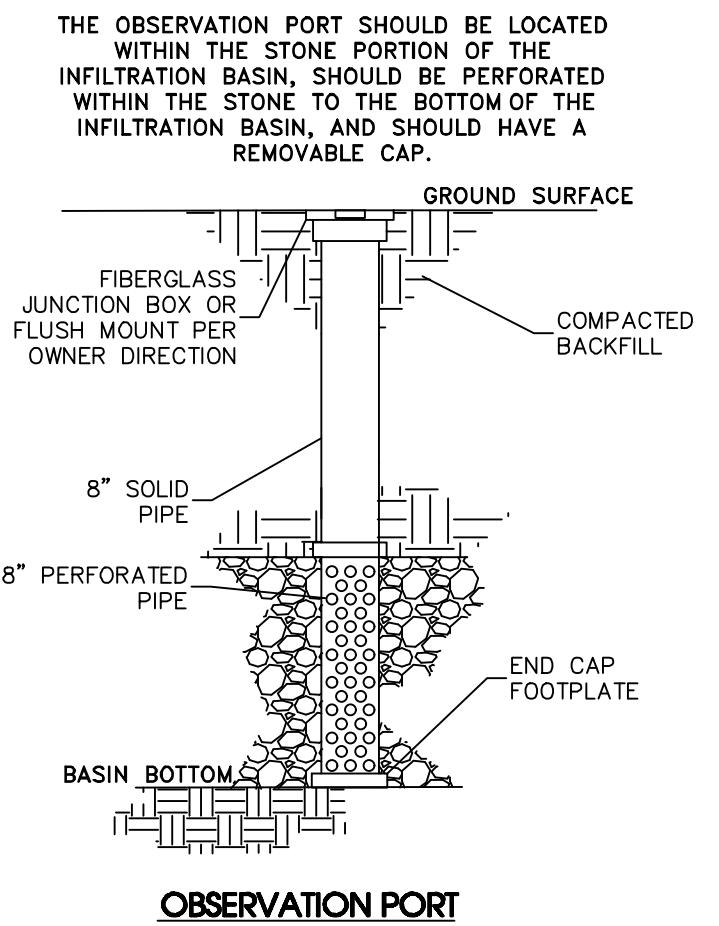
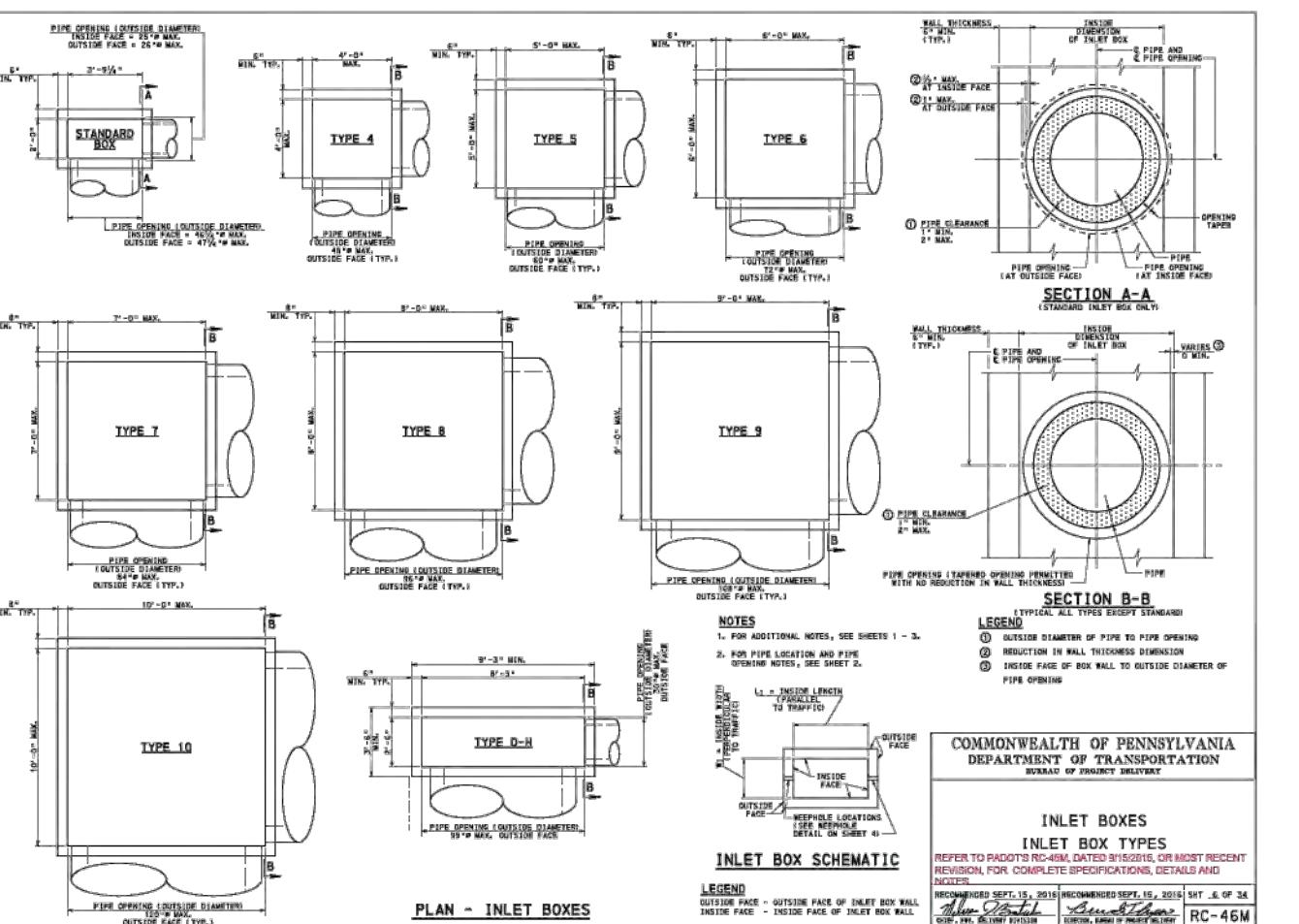
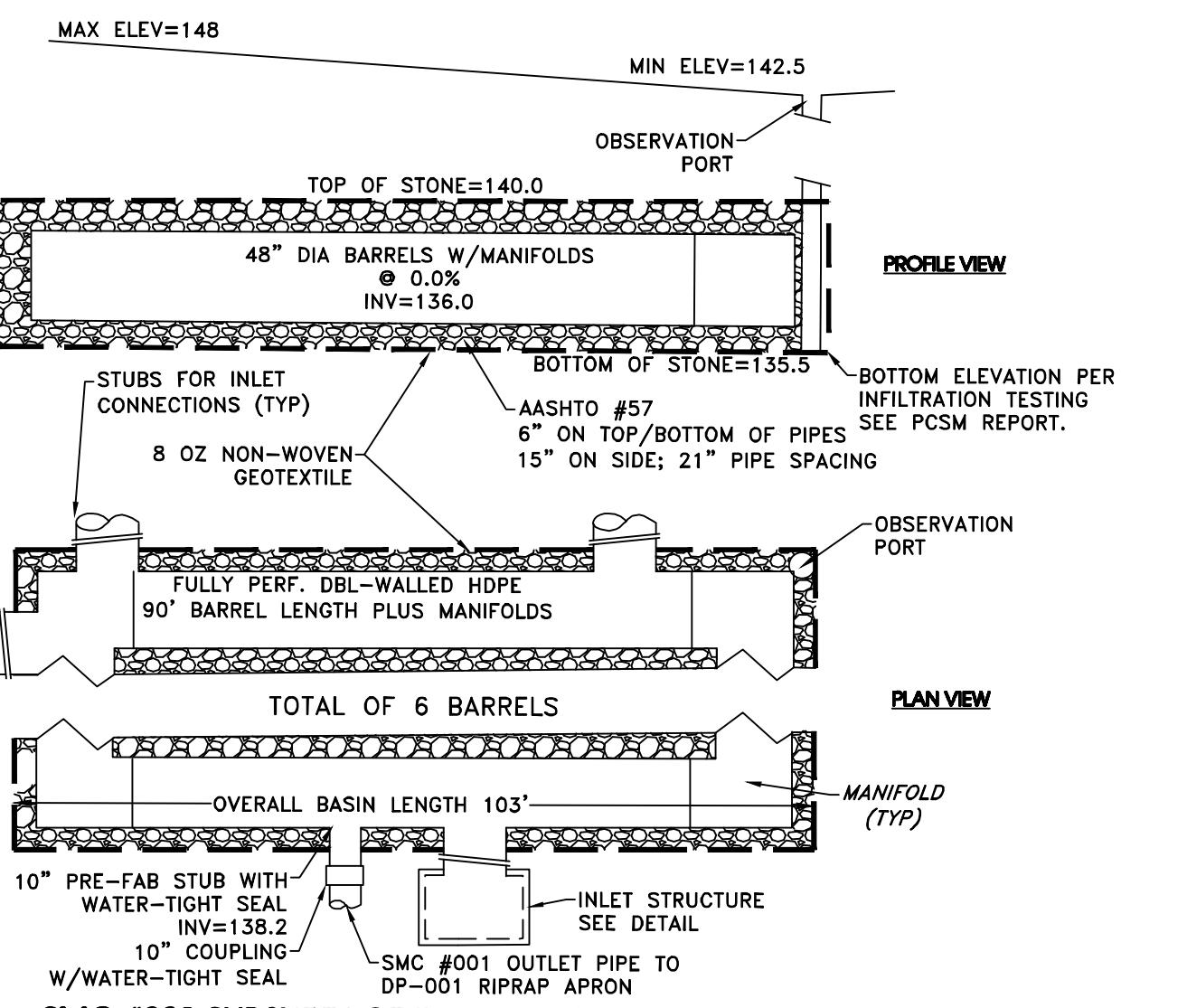
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRs]		[A]	[B]	[C]	[D]
Rise (in)	= 10.00	0.00	0.00	0.00		Crest Len (ft)	= 0.00	0.00	0.00
Span (in)	= 10.00	0.00	0.00	0.00		Crest El. (ft)	= 0.00	0.00	0.00
No. of Barrels	= 1	0.00	0.00	0.00		Weir Coeff.	= 3.33	3.33	3.33
Overall L (ft)	= 108.20	0.00	0.00	0.00		Weir Type	= —	—	—
Length (ft)	= 52.00	0.00	0.00	0.00		Multi-Stage	= No	No	No
Slope (%)	= 15.70	0.00	0.00	n/a					
M value	= 0.13	0.13	0.13	n/a					
Orifice Coeff.	= 0.60	0.60	0.60	0.60					
Multi-Stage	n/a	No	No	No					

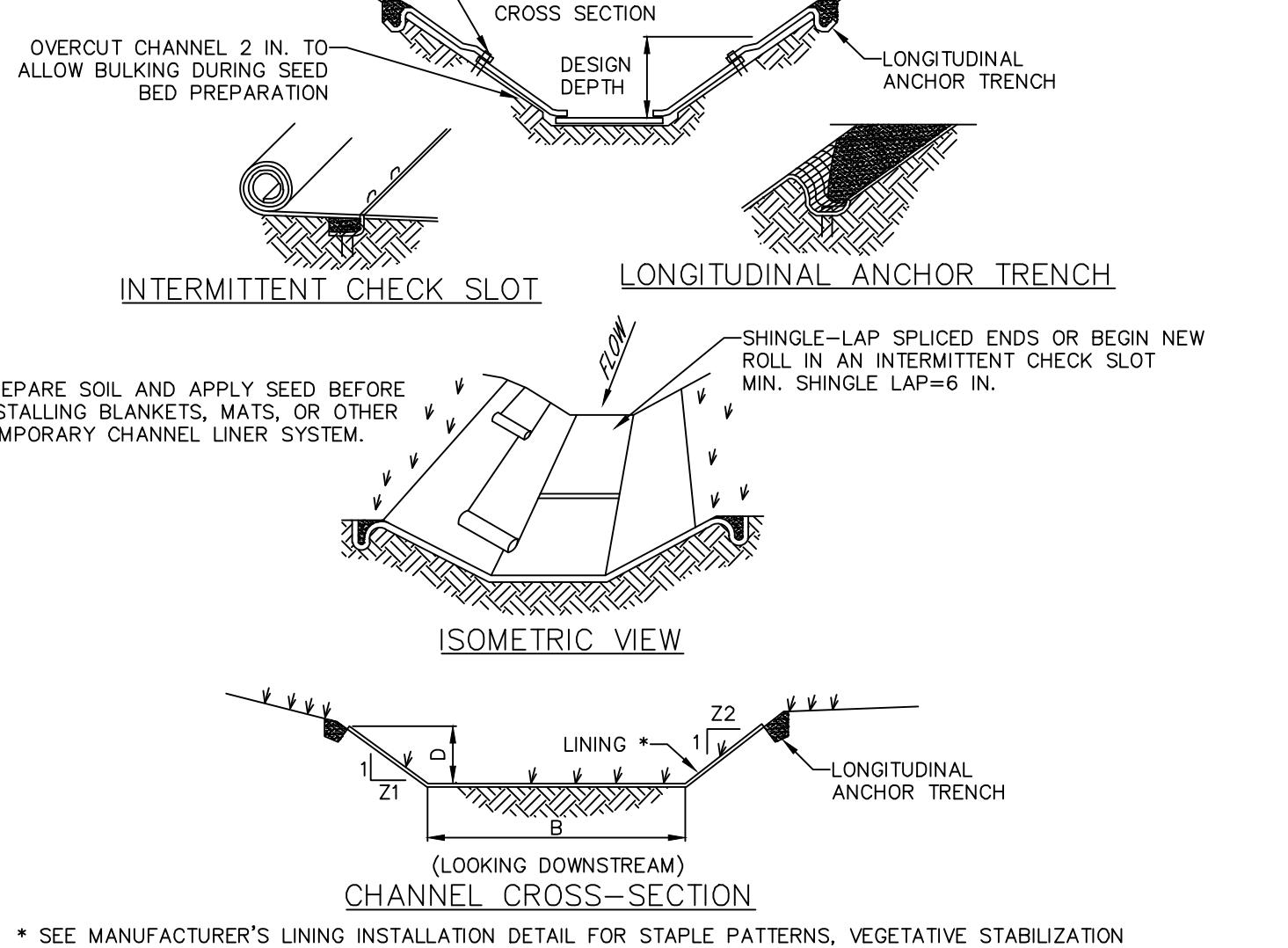
Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir rises checked for orifice conditions (ic) and submergence (s).

Stage / Storage / Discharge Table

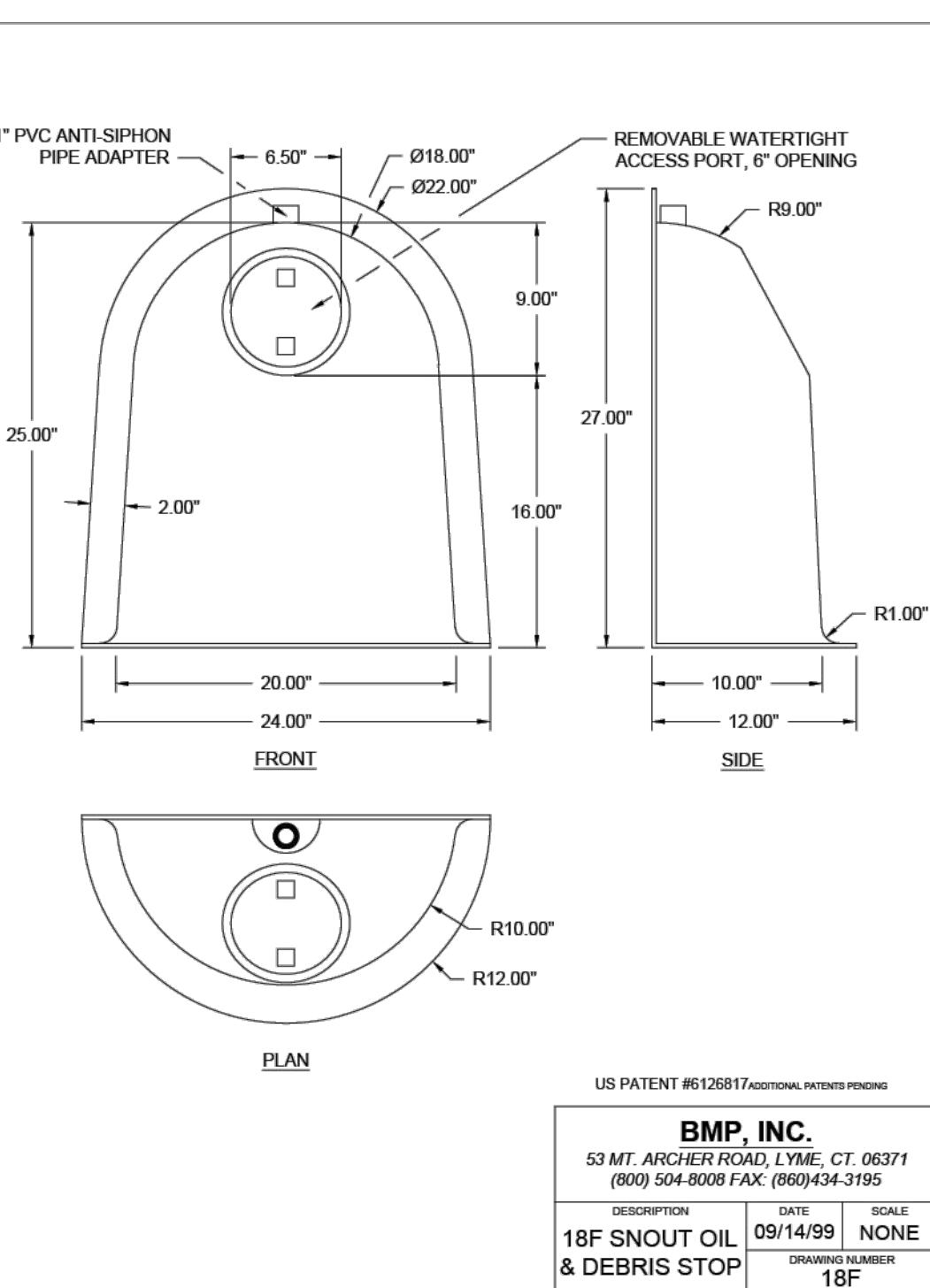
Stage ft	Storage cft	Elevation ft	Cv A cfs	Cv B cfs	Cv C cfs	PrfRs cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	135.50	0.00	—	—	—	—	—	—	—	0.000	0.000	
0.50	894	136.00	0.00	—	—	—	—	—	—	—	0.078	0.078	
1.00	2,178	136.50	0.00	—	—	—	—	—	—	—	0.089	0.089	
1.50	3,462	137.00	0.00	—	—	—	—	—	—	—	0.099	0.099	
2.00	5,429	137.50	0.00	—	—	—	—	—	—	—	0.110	0.110	
2.50	7,174	138.00	0.00	—	—	—	—	—	—	—	0.121	0.121	
3.00	8,921	138.50	0.33 ic	—	—	—	—	—	—	—	0.132	0.462	
3.50	10,608	139.00	1.61 ic	—	—	—	—	—	—	—	0.142	1.781	
4.00	12,169	139.50	2.47 ic	—	—	—	—	—	—	—	0.153	2.021	
4.50	13,453	140.00	3.03 ic	—	—	—	—	—	—	—	0.164	3.252	
5.00	14,347	140.50	3.60 ic	—	—	—	—	—	—	—	0.175	3.778	



SCHEDULE OF STRUCTURES		BOX		PIPE CONNECTIONS					
ID	BOX TYPE	TOP TYPE	GRATE ELE	SNOUT	SUMP INV	BOX DEPTH	DIA (IN)	MAT'L	INV
PI-1	STD	C INLET	142.9	YES	131.31	11.54	15	HDPE	138.33
PI-2	STD	C INLET	143.2	NO	139.80	3.38	12	HDPE	140.80
PI-3	STD	C INLET	145.2	YES	141.05	4.15	15	HDPE	138.06
PI-4	STD	C INLET	147.8	NO	144.43	3.38	15	HDPE	145.43
PI-5	STD	C INLET	148.0	YES	139.96	8.04	15	HDPE	144.33



* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION



CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TO WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING *
REAR	0 to 275	1	1	7	3	3	NAG VMAX C350 TRM

NOTES:
ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.
CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 20% AT ANY LOCATION.
SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.

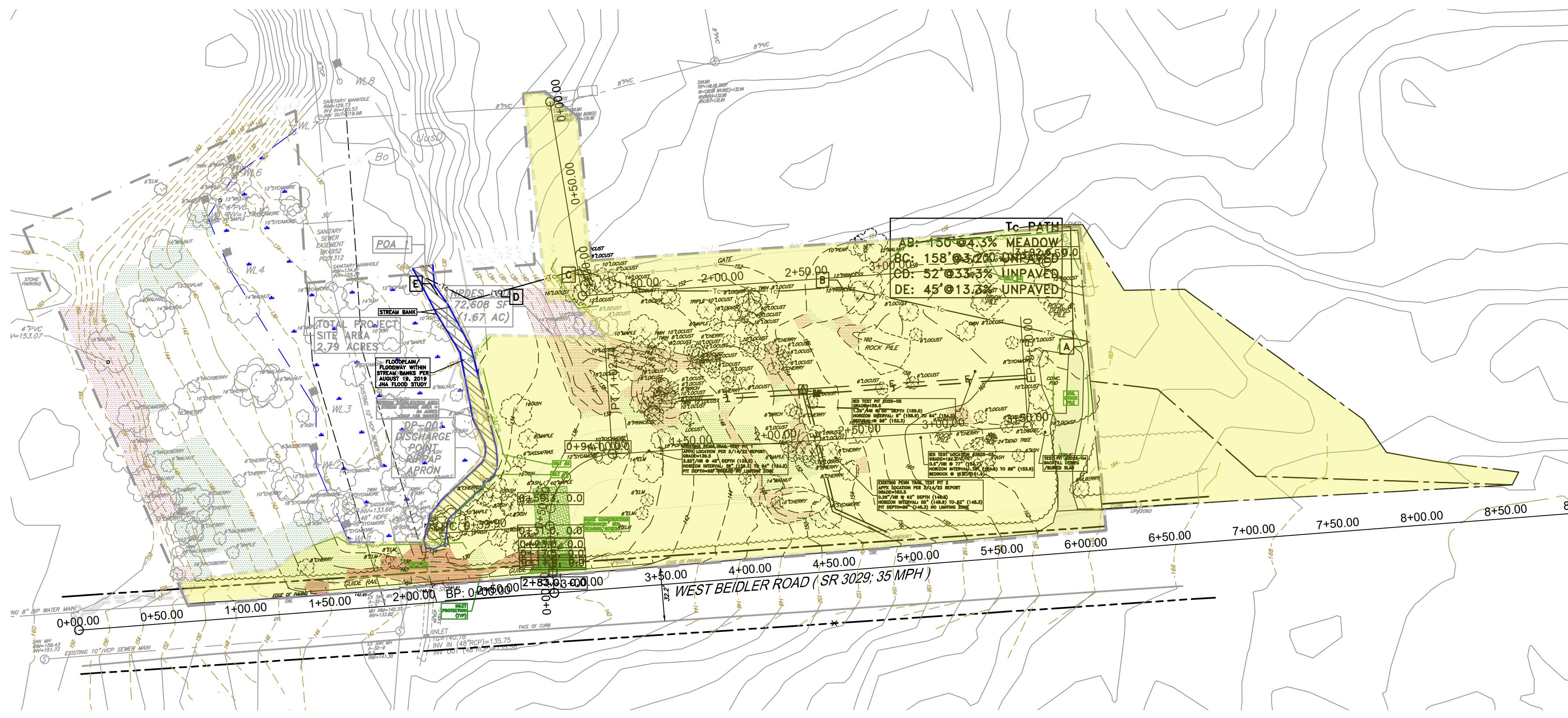
NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

STANDARD CONSTRUCTION DETAIL #6-1 VEGETATED CHANNEL

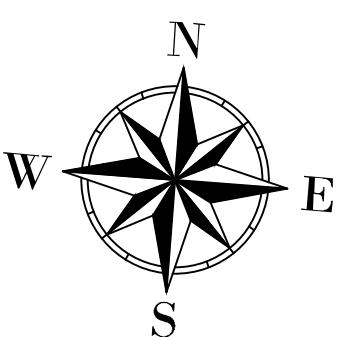
NOT TO SCALE

PIPE RUN TABLE									
Line ID	STRUCTURE		Length (feet)	Invert Down	Slope (ft/ft)	Pipe Size (inch)	Pipe Material	Ground Elevation Down	Cover Up
	Down	Up							
PP-1	BED	PI-1	6.32	138.00	0.050	24	HDPE	142.50	142.85
PP-2	PI-1	PI-2	24.10	138.33	0.102	15	HDPE	142.85	143.17
PP-3	BED	PI-3	2.00	138.00	0.020	24	HDPE	145.00	145.20
PP-4	PI-3	PI-4	55.10	138.06	0.134	15	HDPE	147.80	147.80
PP-5	BED	PI-5	34.00	138.00	0.086	24	HDPE	148.50	148.00

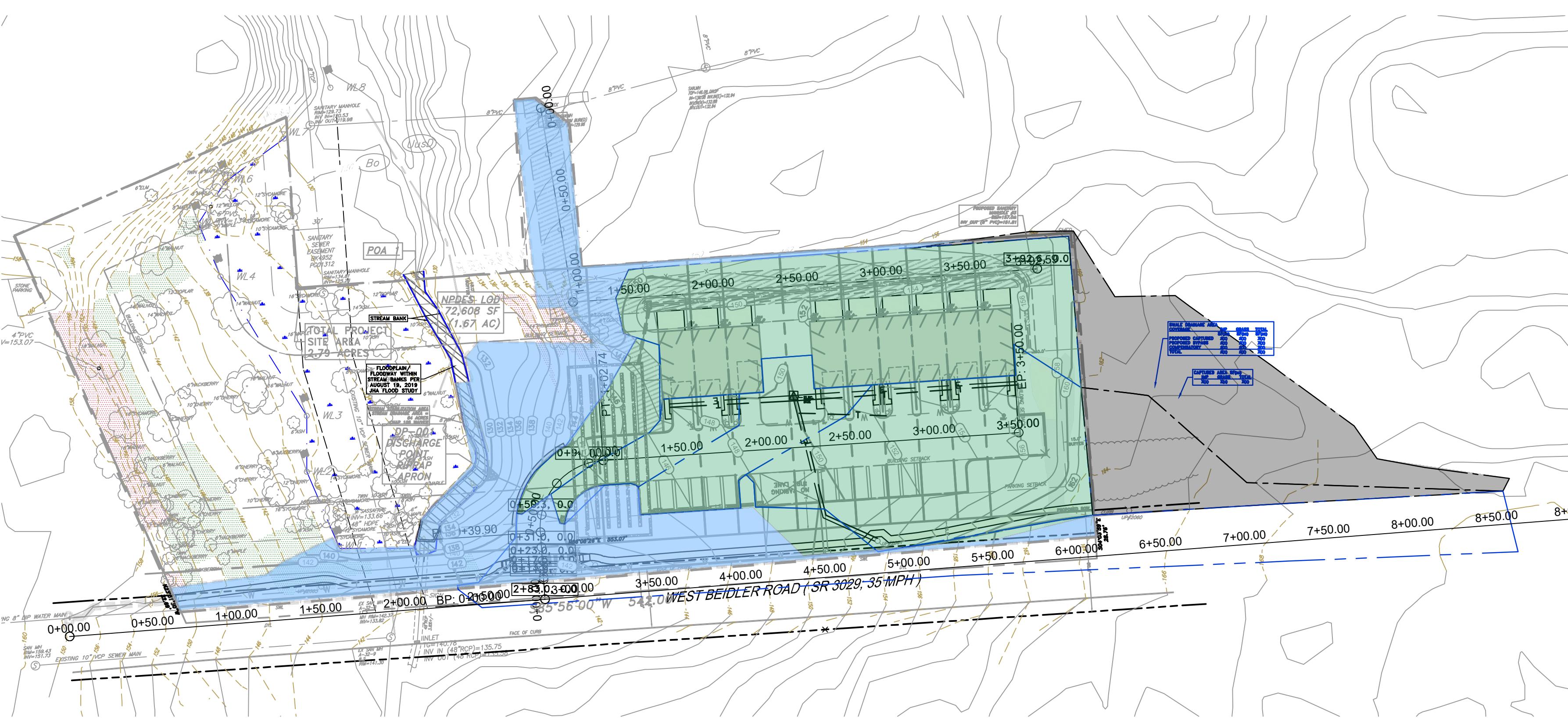
BMP, INC.
53 MT. ARCHER ROAD, LIVME, CT. 06371
(800) 504-8008 FAX: (860) 436-3195
DESCRIPTION: 18F SNOUT OIL & DEBRIS STOP
DATE: 09/14/99
SCALE: NONE



PRE-DEVELOPMENT DRAINAGE MAP



GRAPHIC SCALE
50 0 25 50 100
1 inch = 50 ft.



POST-DEVELOPMENT DRAINAGE MAP

TR55 Tc Worksheet

Hydroflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v.2023

Hyd. No. 1

SITE

Description	A	B	C	Totals
Sheet Flow				
Manning's n-value	= 0.400	0.011	0.011	
Flow length (ft)	= 150.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 2.81	0.00	0.00	
Land slope (%)	= 4.30	0.00	0.00	
Travel Time (min)	= 23.34	+ 0.00	+ 0.00	= 23.34
Shallow Concentrated Flow				
Flow length (ft)	= 158.00	52.00	45.00	
Watercourse slope (%)	= 3.20	33.30	13.30	
Surface description	Unpaved	Unpaved	Unpaved	
Average velocity (ft/s)	= 2.89	9.31	5.88	
Travel Time (min)	= 0.91	+ 0.09	+ 0.13	= 1.13
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	= 0.00	0.00	0.00	
Flow length (ft)	((0))0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				24.50 min

DRAINAGE MAP LEGEND

A	B
Tc - CALCULATION	
PRE-DEV AREA	
SCM #001 LOD CAPTURED DA	
CAPTURED COMPENSATORY DA	
UNDETERMINED SITE	

PLAN LEGEND

NPDES PERMIT BOUNDARY
PROPERTY LINE
RIGHT-OF-WAY
STORMWATER RETBACK LINE
FENCE LINE
MONUMENT OR PIN (FOUND) (T&H)
TO (T&H)
INTERVAL CONTOUR
PROPOSED INTERVAL
INDICATOR CONTOUR
PROPOSED ELEVATION
2' LIDAR CONTOURS OUTSIDE OF SURVEY LIMITS
STORM SEWER PIPING
STORM SEWER INLET
STORM CLEAN OUT
SANITARY SEWER PIPING
WATER MAIN / SERVICE
UNDERGROUND ELECTRIC
OVERHEAD WIRES & POLES
HAZARDOUS LOCATIONS
HYDRANT
WATER VALVE
OSAN VENT
SA SAN
SA SAN
SA SAN
SA SAN
GM
GV
BUILDINGS
PORCH/ ROOF LINES
ASPHALT
WALKS & PADS
WALLS
EDGE OF LANDSCAPING
EDGE OF PAVEMENT
LIGHT POLE
SOIL BOUNDARY & MAP SYMBOL

PCSM PLAN SET LIST OF DRAWING

- SEE SHEET 4 FOR PCSM NOTES & DETAILS.
 - SEE SHEET 5 FOR PCSM NOTES & DETAILS.
 - SEE SHEET 6 FOR PCSM NOTES & ADDITIONAL DETAILS.
 - SEE SHEET 7 FOR DRAINAGE AREA MAPS.
- REFERENCE:
SEE SHEETS 8 TO 12 FOR E&SC PLANS, NOTES, DETAILS AND SEQUENCING.
SEE NPDES AND TWP GRADING PERMIT CONDITIONS FOR ADDITIONAL REQUIREMENTS

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1.	11/21/2025	RESPONSE TO 9/24/25 ADMIN INCOMPLETE REVIEW
NUM.	DATE	REVISION

PLAN PREPARED BY:

SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

LAND DEVELOPMENT PLAN / NPDES PLAN

PLAN PREPARED FOR:

PARKVIEW HOMES AT VALLEY

FORGE, LLC

450 WEST BEIDLER ROAD, KING OF PRUSSIA

UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

POST CONSTRUCTION

STORMWATER

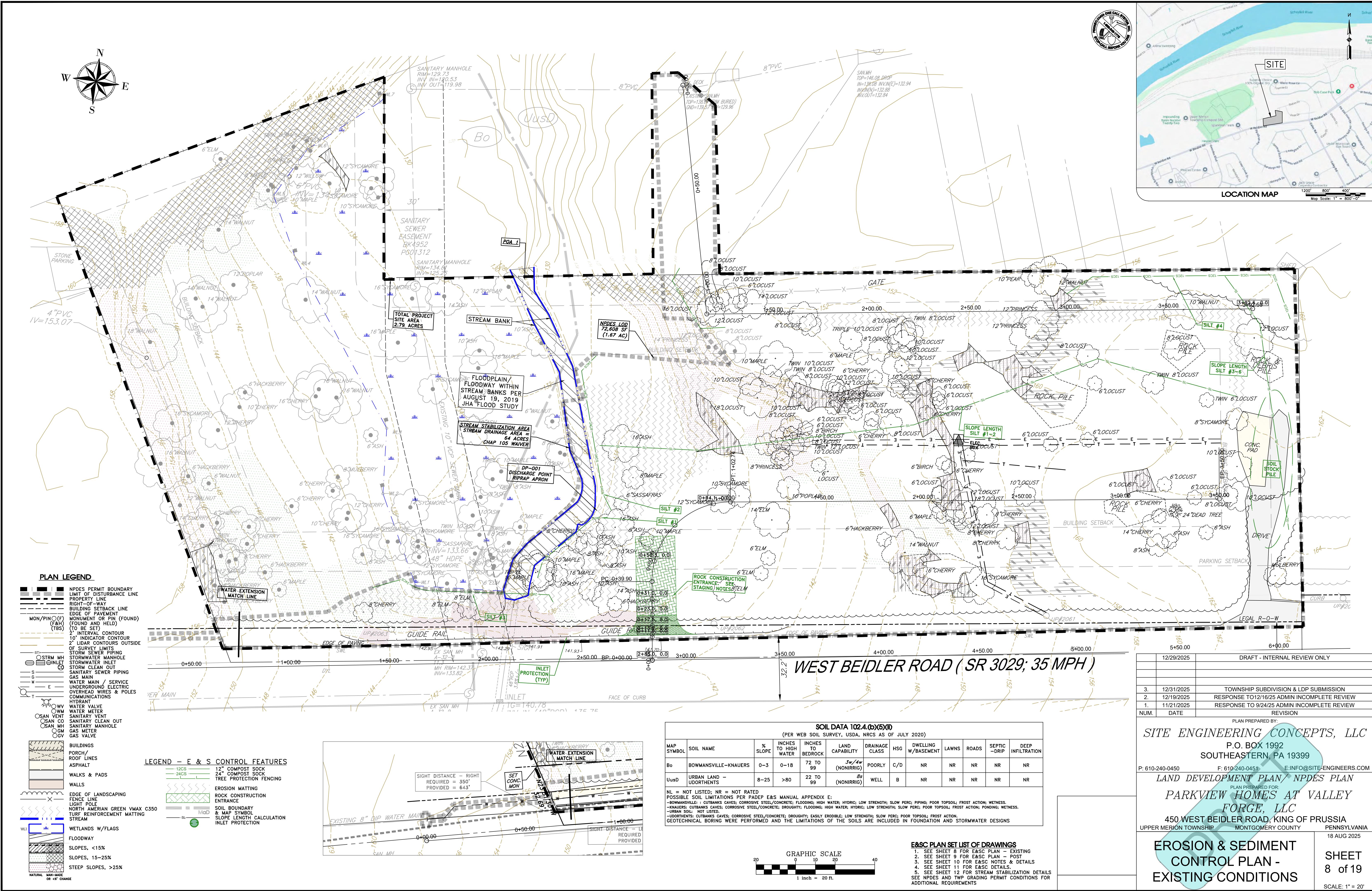
MANAGEMENT DRAINAGE

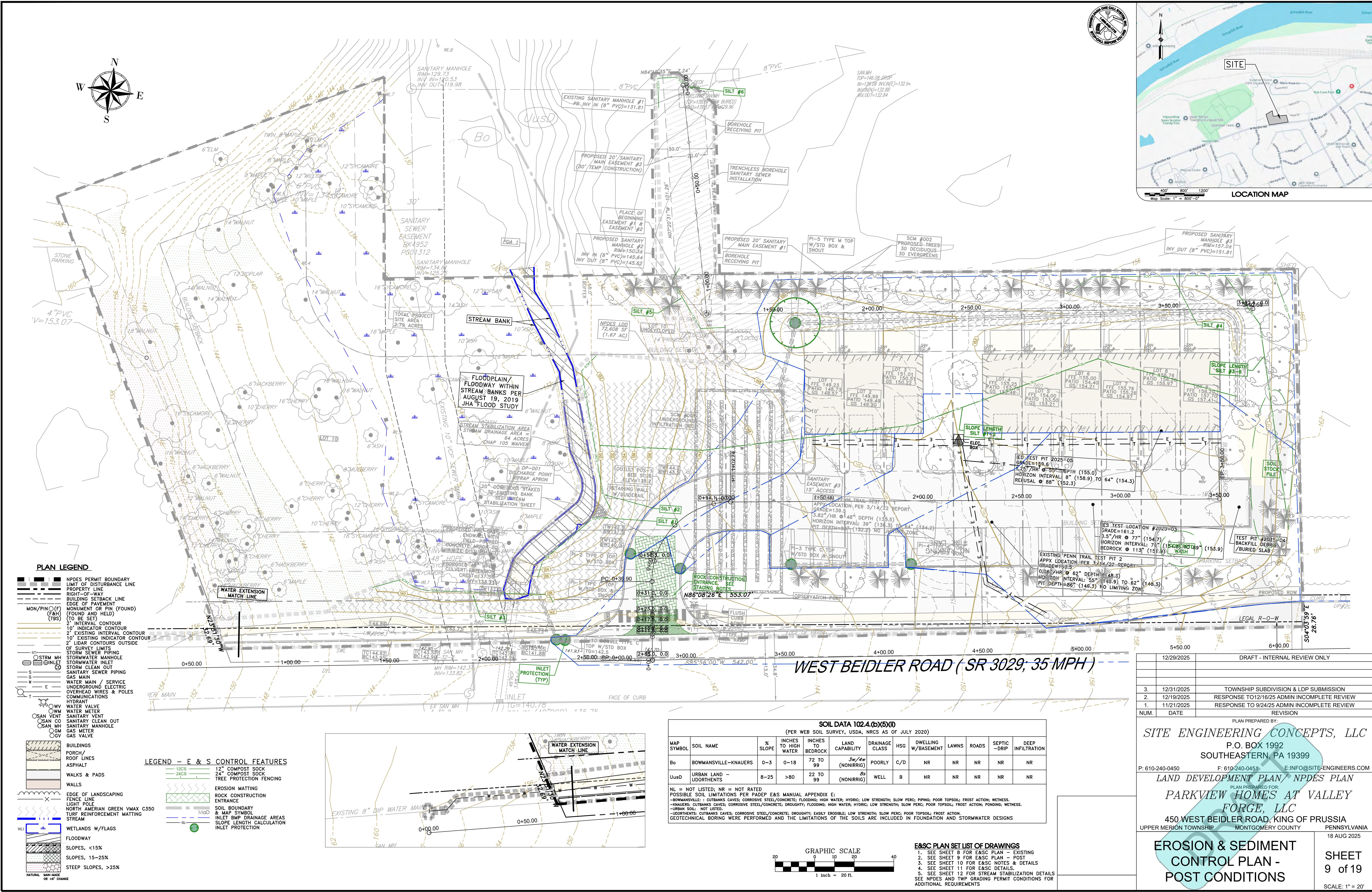
AREA MAPS

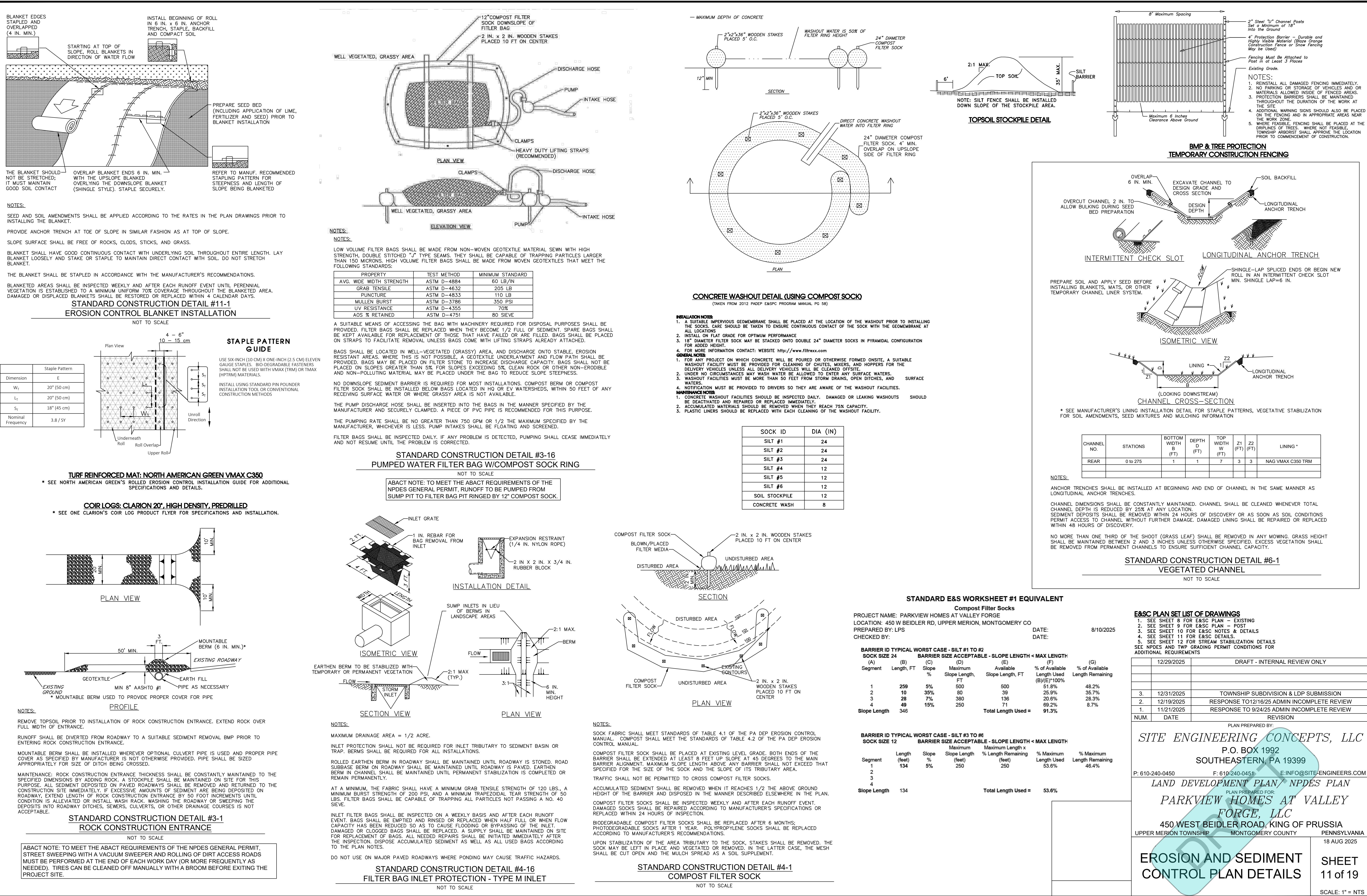
SHEET 7 of 19

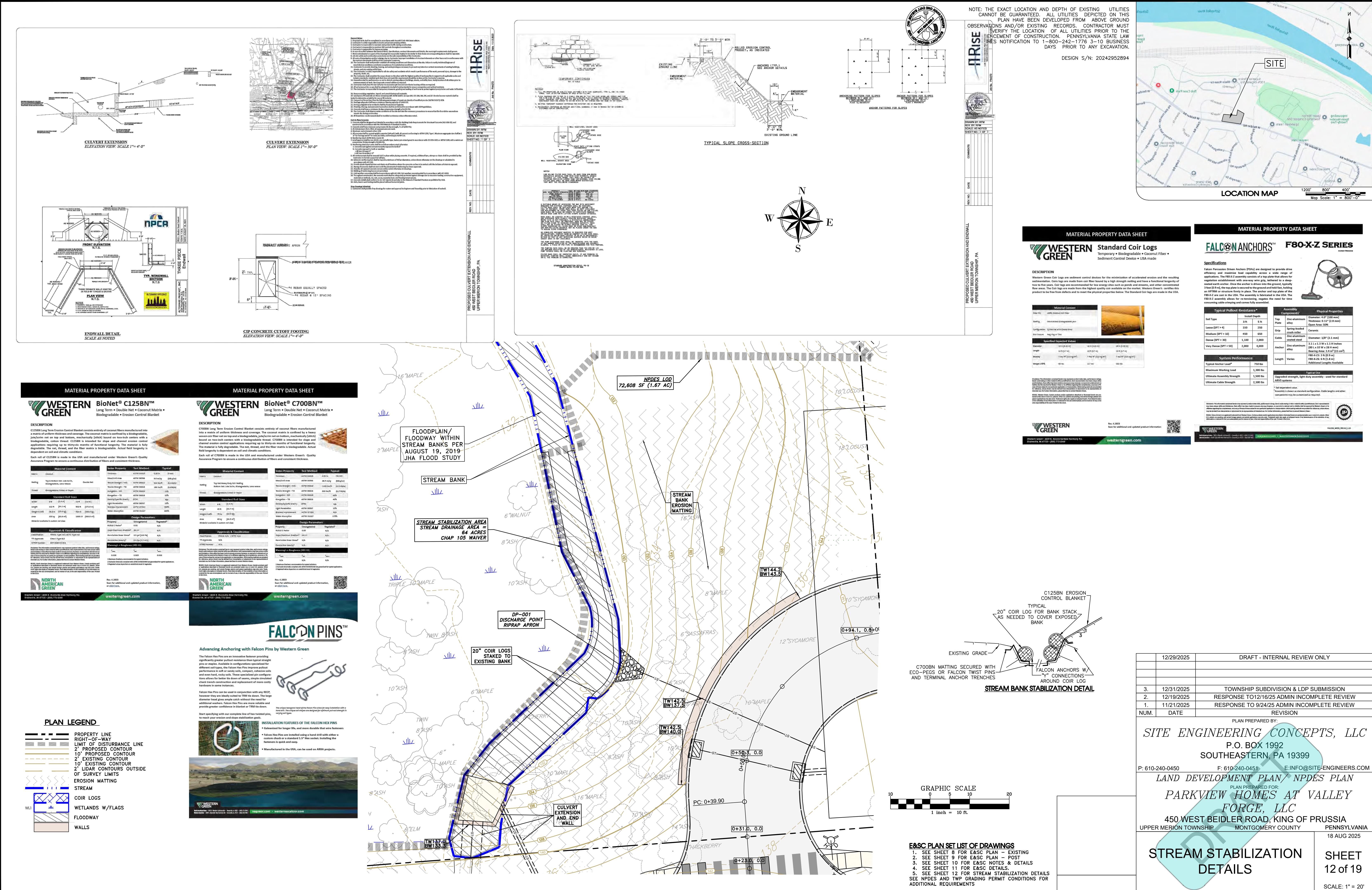
SCALE: 1" = 50'

NPDES PCSM PLAN SHEET 4 OF 4











A compass rose with a central eight-pointed star. The top point is labeled 'N' (North), the bottom point is labeled 'S' (South), the left point is labeled 'W' (West), and the right point is labeled 'E' (East). The rose is enclosed in a circular border with minor lines between the main points.

WEST BEIDLER ROAD (SR 3029; 35 MPH)

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WEST BEIDLER ROAD (SR 3029; 35 MPH)

3+50.00 4+00.00 4+50.00

13 34 152 154

	12/29/2025	DRAFT - INTERNAL REVIEW ONLY
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P: 610-240-0450 F: 610-240-0451 E:INFO@SITE-ENGINEERS.COM
LAND DEVELOPMENT PLAN / NPDES PLAN

LAND DEVELOPMENT PLAN / NPDES PLAN
PLAN PREPARED FOR:
RADKINVIEW NOMINEE AT VALLEY

PARKVIEW HOMES AT VALLEY

FORGE, LLC

450 WEST BEIDLER ROAD, KING OF PRUSSIA
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA
18 AUG 2025

DR. SWEET

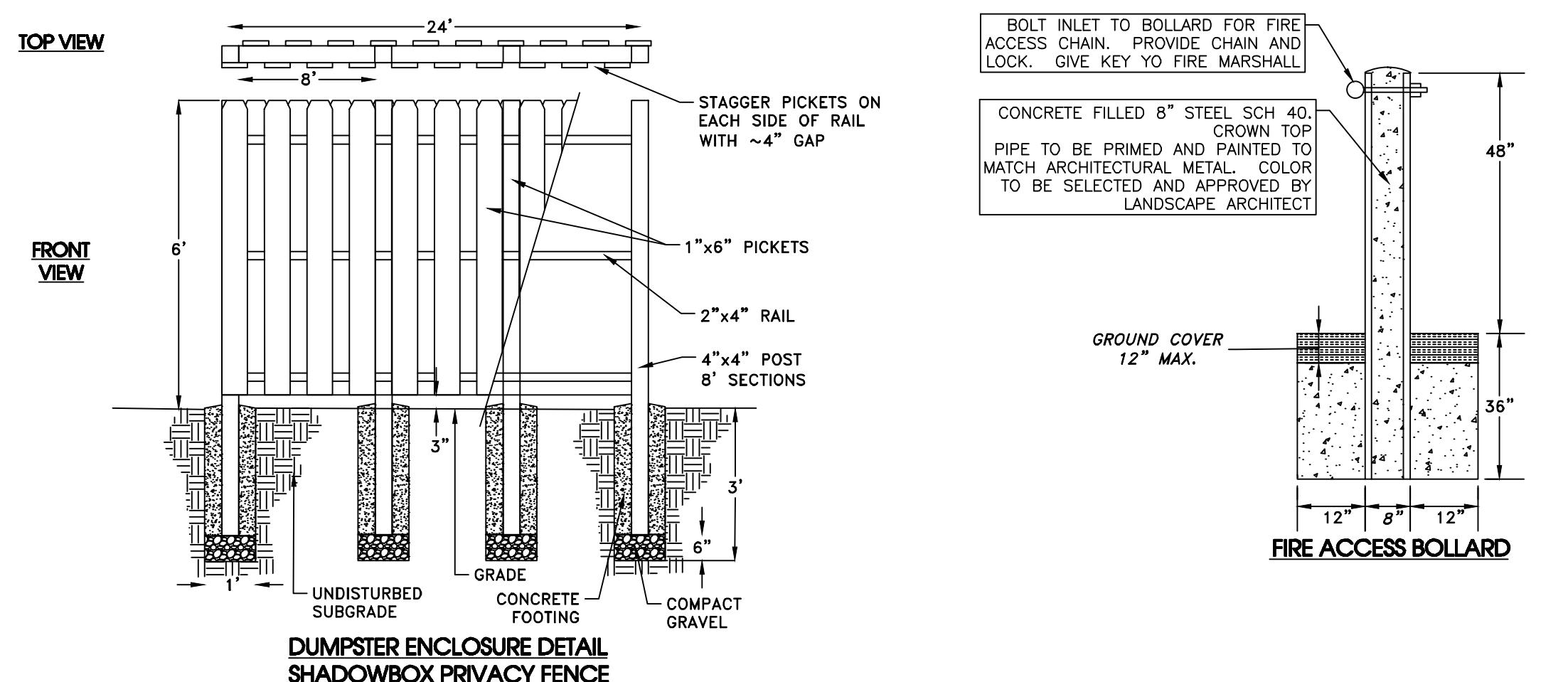
GRADING & UTILITY PLAN SHEET 13-513

13 of 19

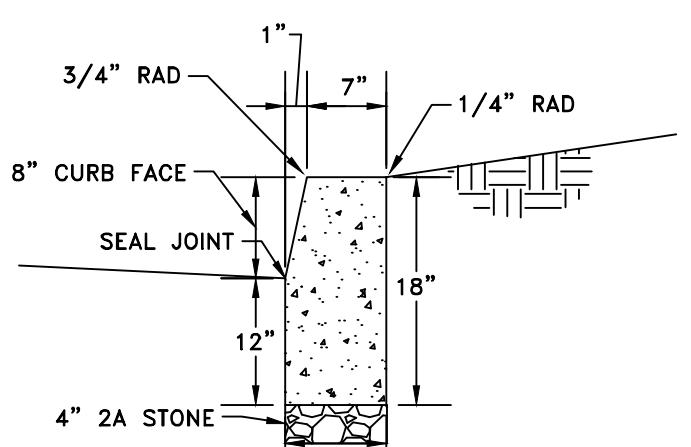
SCALE: 1" = 20'

Page 1 of 1

The figure is a site plan showing the 'WATER EXTENSION MATCH LINE' and 'EXISTING 8" DIP WATER MAIN'. The plan includes contour lines labeled 152, 160, 158, 156, 0+50.00, and 1+00.00. A dashed line represents the 'WATER EXTENSION MATCH LINE'. An 'EXISTING 8" DIP WATER MAIN' is shown as a solid line with a dip. A vertical line labeled 'W' is positioned near the water main. A shaded area represents a property boundary. A north arrow is located in the top right corner.

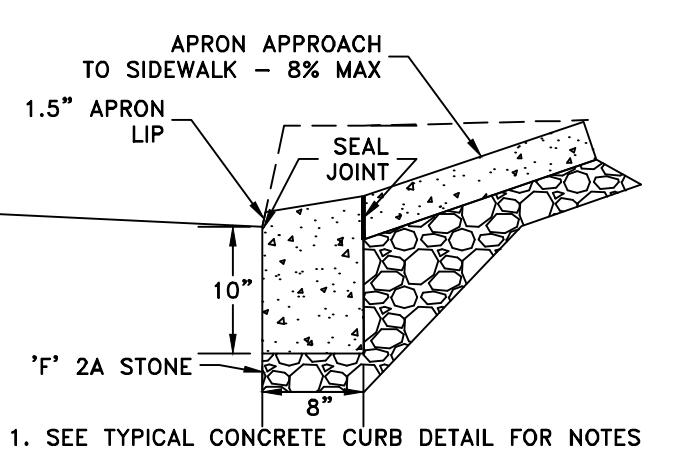


DUMPSTER ENCLOSURE DETAIL
SHADOWBOX PRIVACY FENCE



1. CURB TO BE PLACED IN 10' SECTION WITH 1/4" EXPANSION JOINT.
2. USE 10% FLARE ALONG WALKING SURFACE TO TRANSITION TO FISH CURB. USE 24"-LONG FLARE ALONG NON-WALKING SURFACE.
3. SEE CONCRETE NOTES FOR ADDITIONAL REQUIREMENTS.

TYPICAL CONCRETE CURB



TYPICAL DRIVEWAY DEPRESSION
IN CONCRETE CURB

CONCRETE NOTES

FOR CURBS, WALKS, AND APRONS. SEE BUILDING PLANS FOR STRUCTURAL CONCRETE SPECIFICATIONS.

1. CLASS "A" CONCRETE
2. MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI
3. CONTAIN 5-8% AIR-ENTRAINMENT BY VOLUME
4. MAXIMUM W/C RATIO IS 0.45
5. CURING COMPOUND PLACED AFTER FINISHING

CONCRETE THICKNESS

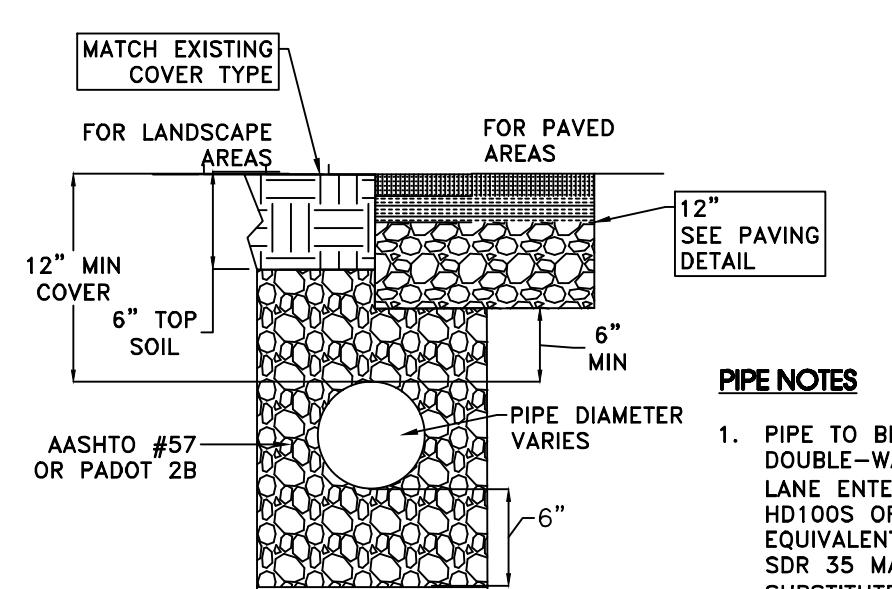
	'D' REINFORCEMENT	'E' CONCRETE THICKNESS (IN)	'F' STONE BASE THICKNESS (IN)
SIDEWALK ROW	6 x 6/1.4-1.4 W.W.F.	4.0	6.0
WALKWAY	6 x 6/1.4-1.4 W.W.F.	4.0	4.0
DRIVEWAY APRON	#4's @ 10" O.C.E.W. AT CENTER OF SLAB	6.0	6.0

ASPHALT THICKNESS				
	'A'	'B'	'C'	
STREET ROW	1.5	5.0	N/A	6.0
DRIVEWAY	1.5	2.5	N/A	6.0
WEARING COURSE: 'A' - 9.5 MM SUPERPAVE				
BINDER COURSE: 'B' - 19 MM SUPERPAVE				
BASE COURSE: 'C' - 25 MM SUPERPAVE				
SUBBASE: 'D' PADOT 2A MODIFIED COMPACTED SUBGRADE				

ASPHALT PAVING DETAIL

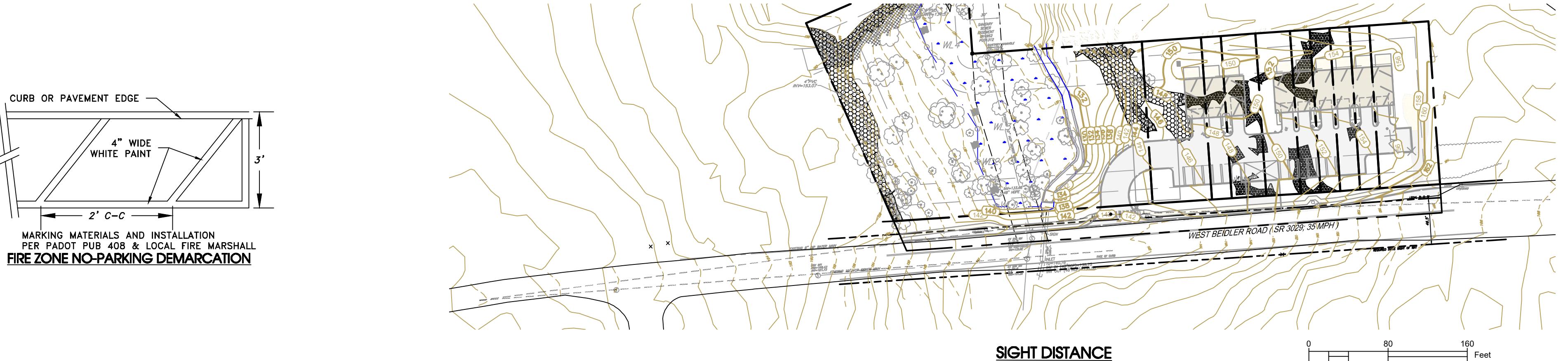
- a. SUPERPAVE VOLUMETRIC ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 0.3 TO < 3 MILLION ESALS, SR-E, 9.5mm MIX.
- b. SUPERPAVE VOLUMETRIC ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64S-22, 0.3 TO < 3 MILLION ESALS, 19.0mm MIX.
- c. SUPERPAVE VOLUMETRIC ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22, 0.3 TO < 3 MILLION ESALS, 25mm MIX.
- d. SUBBASE 2A MOD.

NOTE: MATCH EXISTING DEPTH IF GREATER.

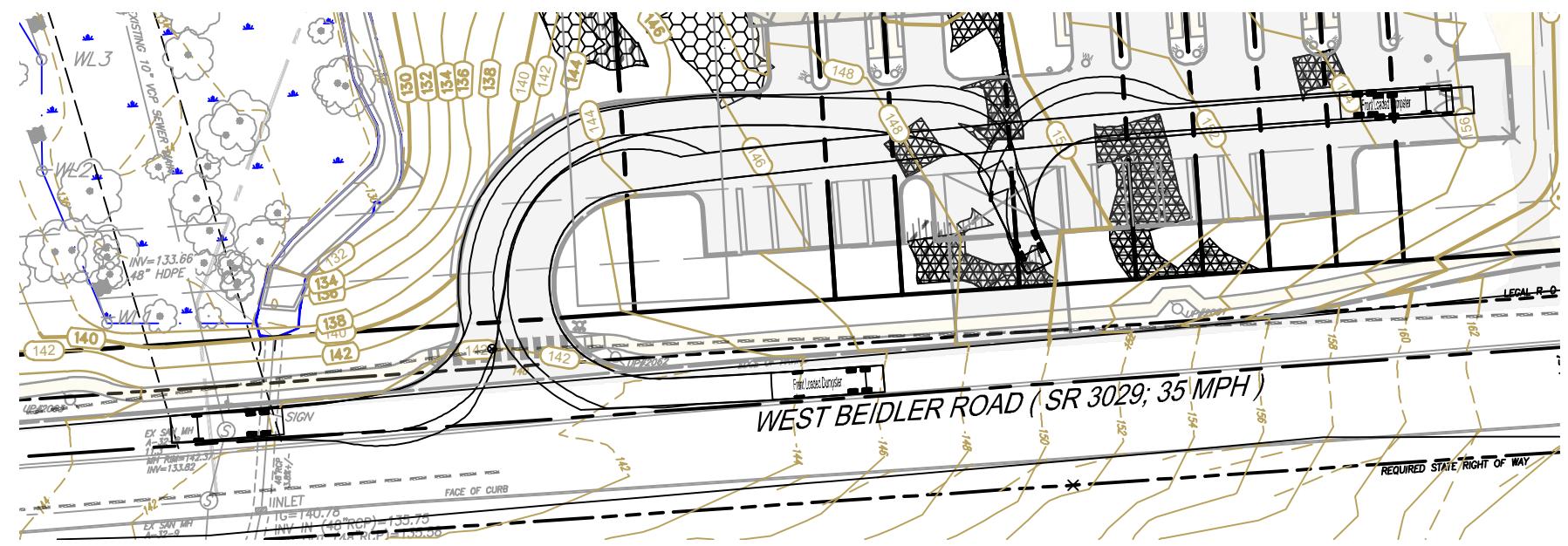
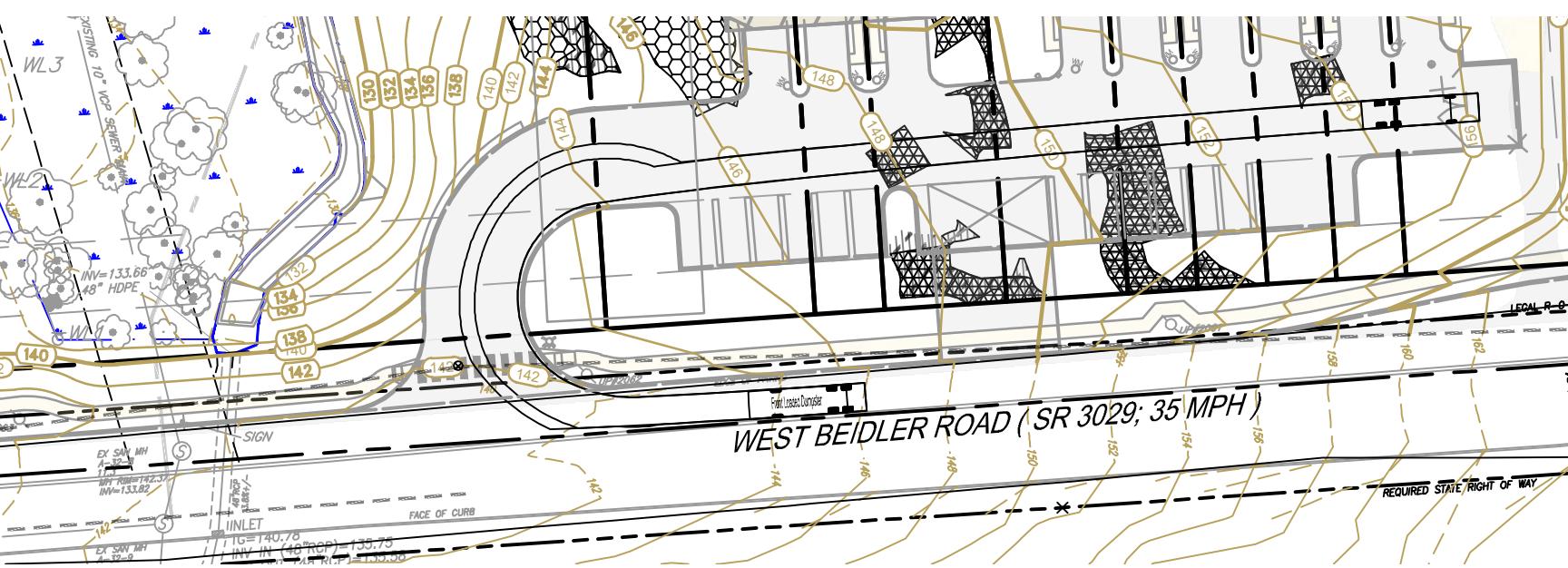


CONVEYANCE PIPE DETAIL

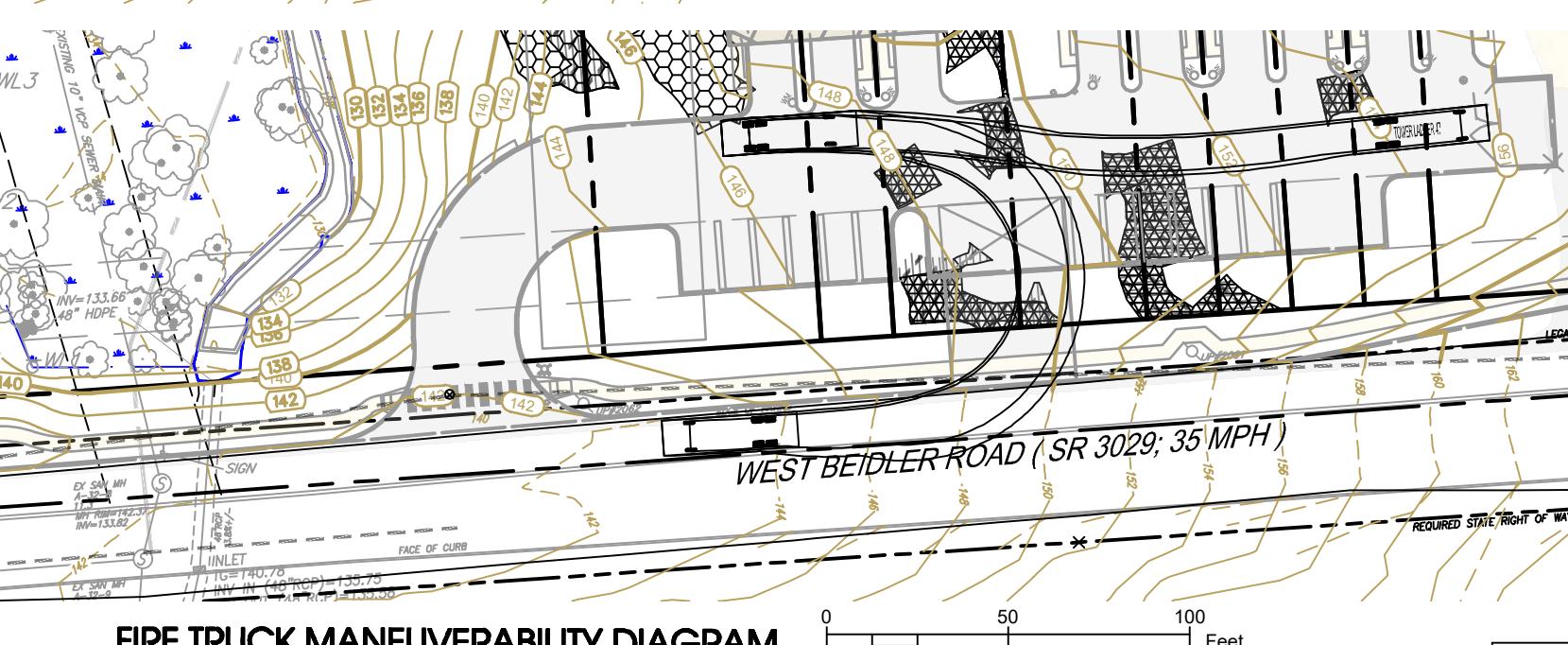
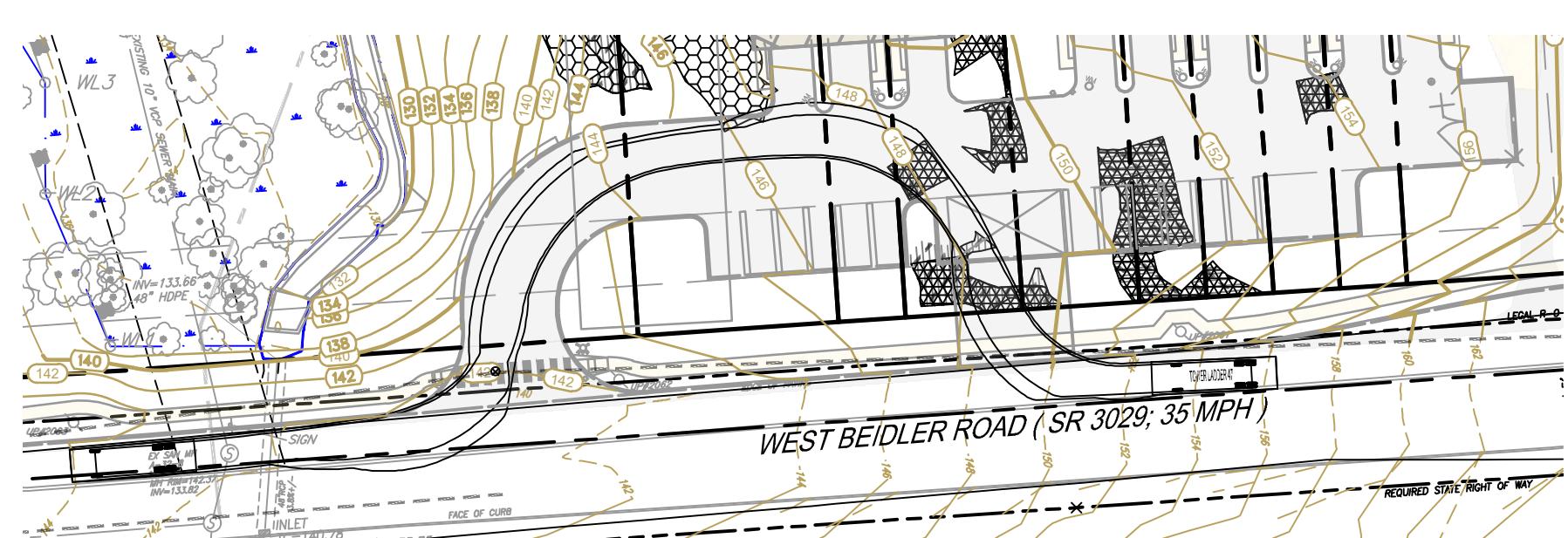
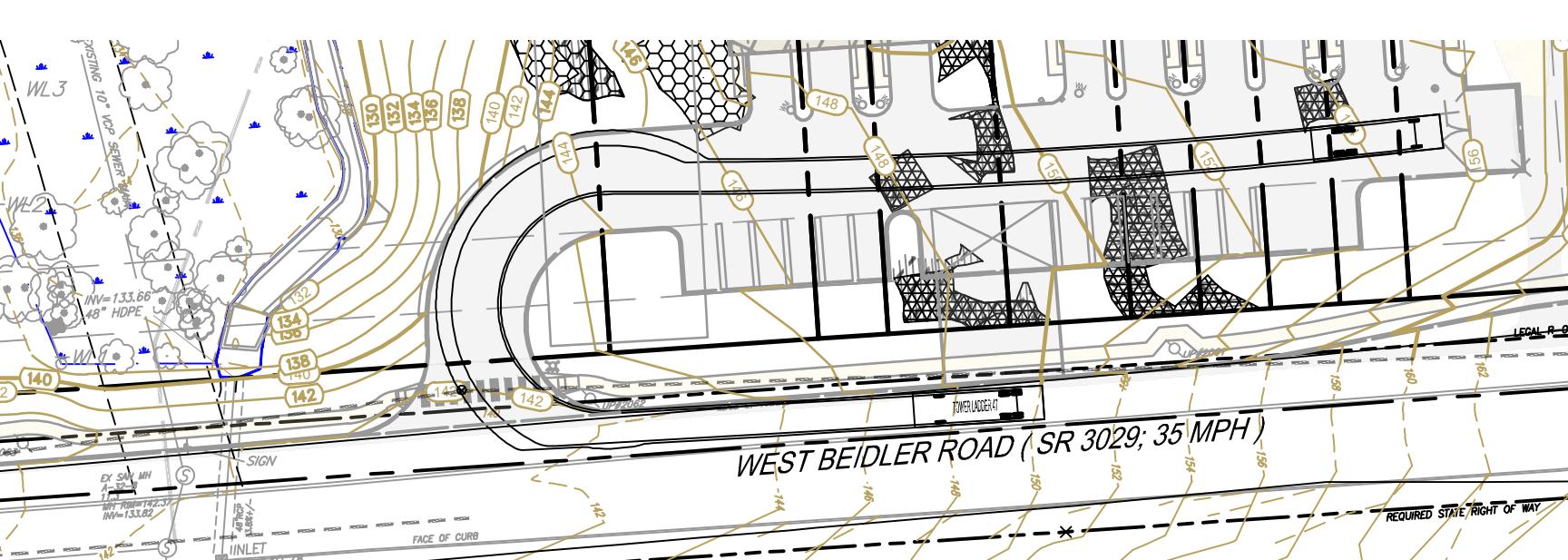
* TRENCH WIDTH PER MANUFACTURER'S REQUIREMENT FOR PIPE DIAMETER



SIGHT DISTANCE



SERVICE AREA MANEUVERABILITY DIAGRAM - IN & OUT



FIRE TRUCK MANEUVERABILITY DIAGRAM

OVERHEAD UTILITY NOTE
1. ALL EXISTING AND PROPOSED UTILITY LINES MUST BE SET NO LOWER THAN 13' 6" TO PROVIDE NECESSARY VERTICAL CLEARANCE FOR EMERGENCY RESPONSE VEHICLES.

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PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399

P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

LAND DEVELOPMENT PLAN/ NPDES PLAN

PLAN PREPARED FOR:

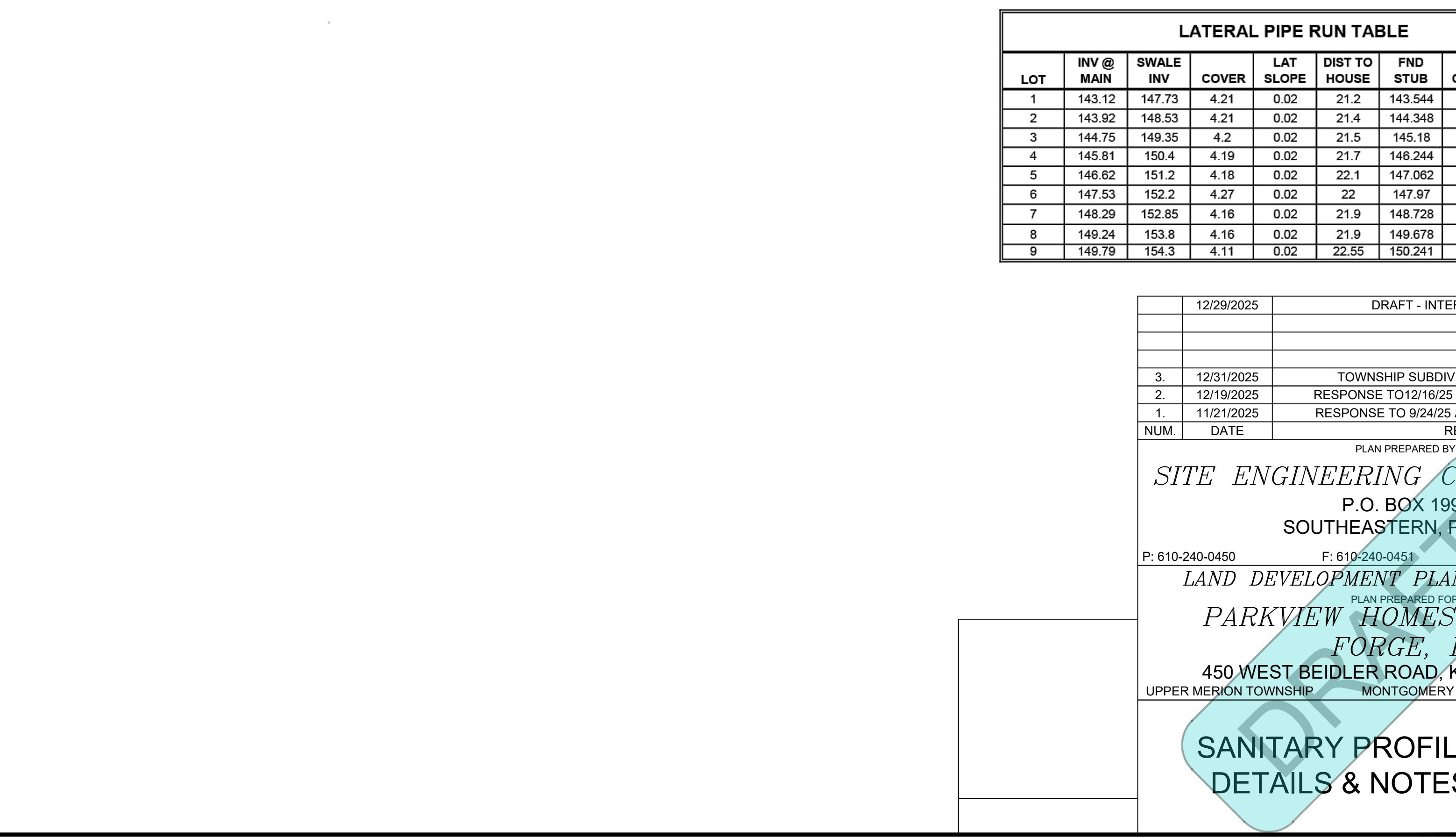
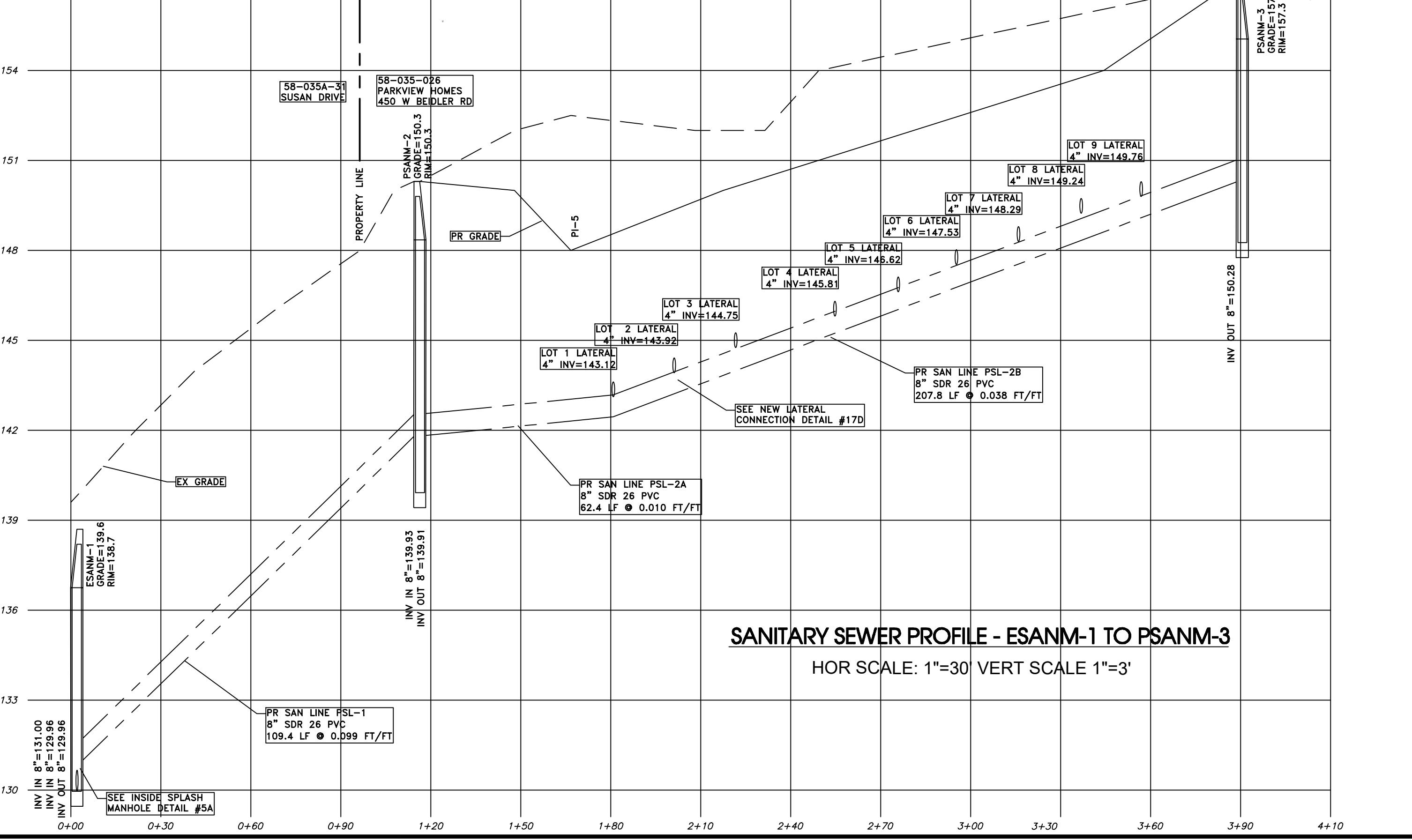
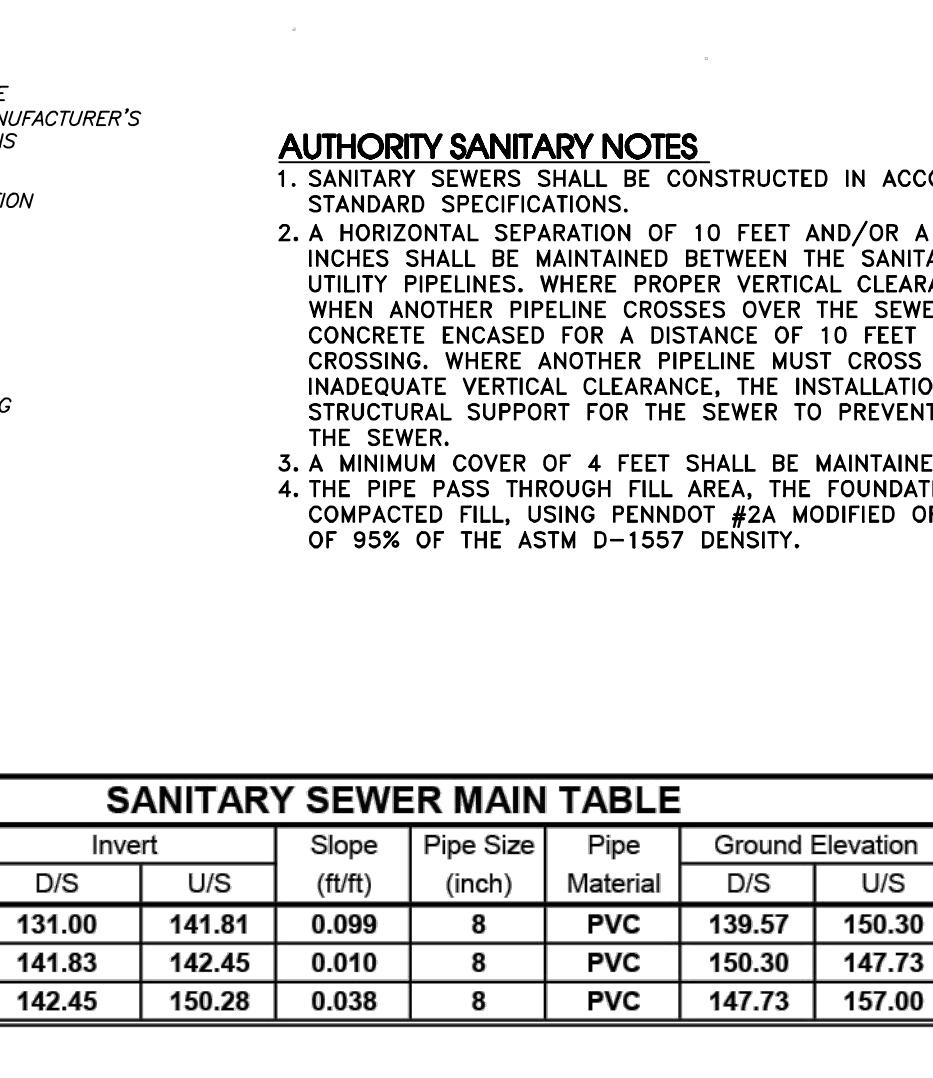
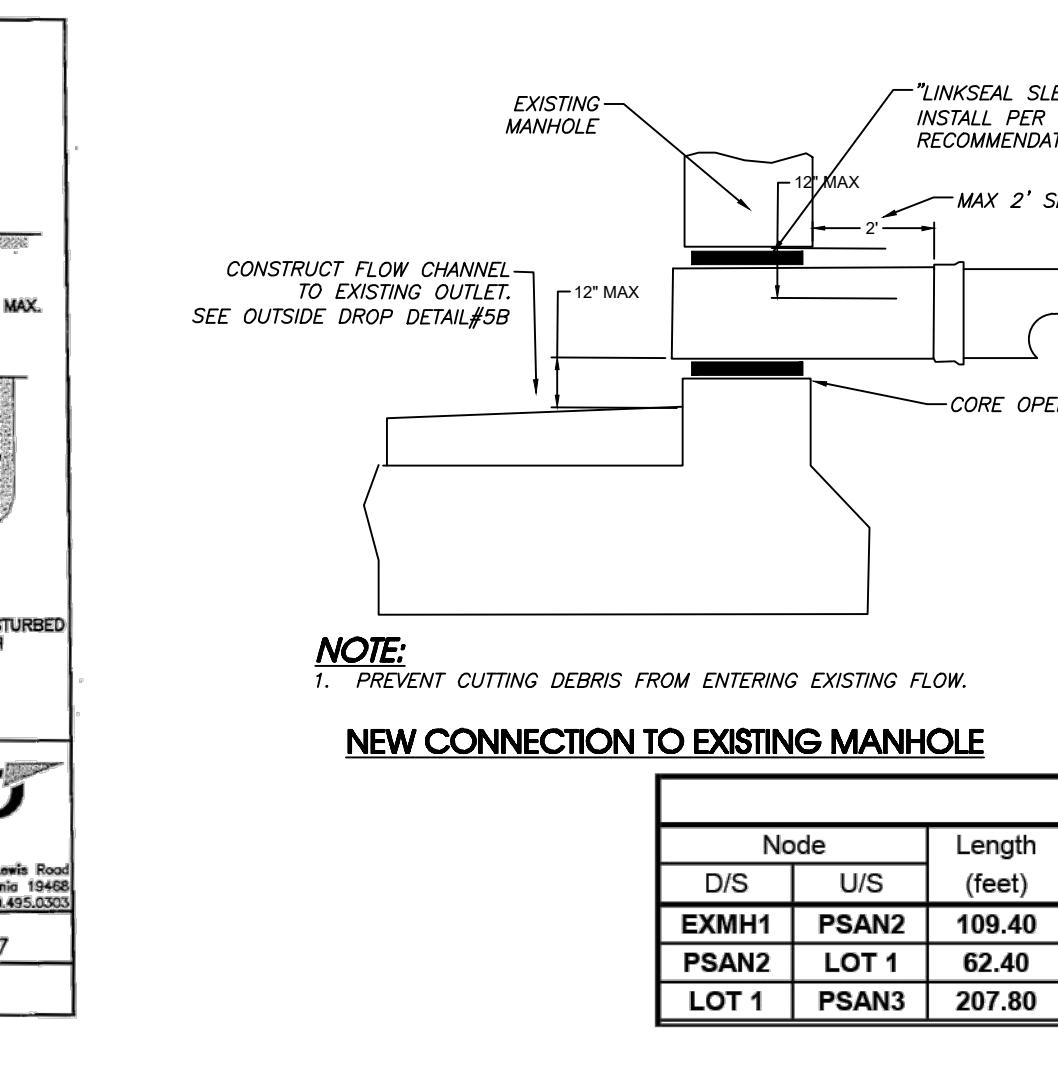
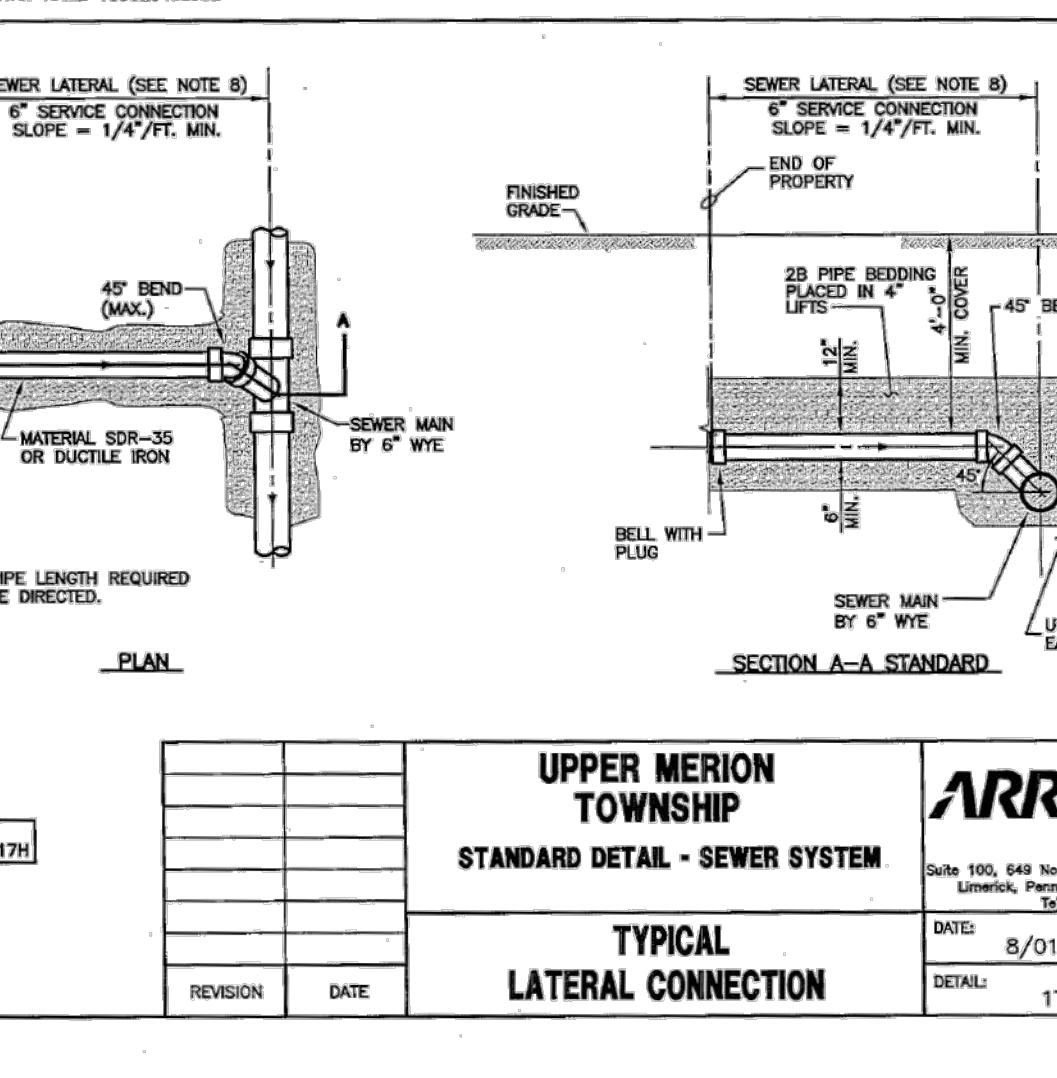
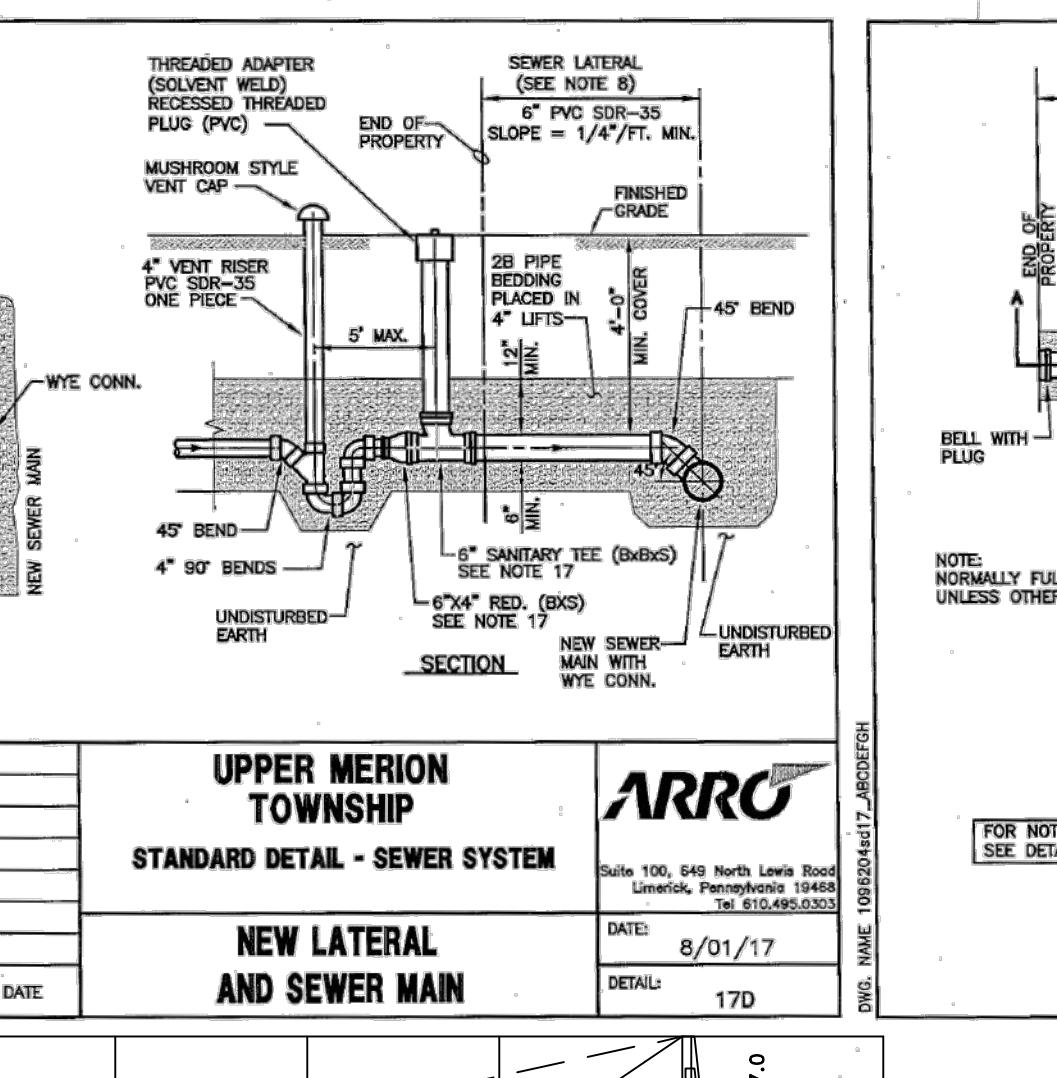
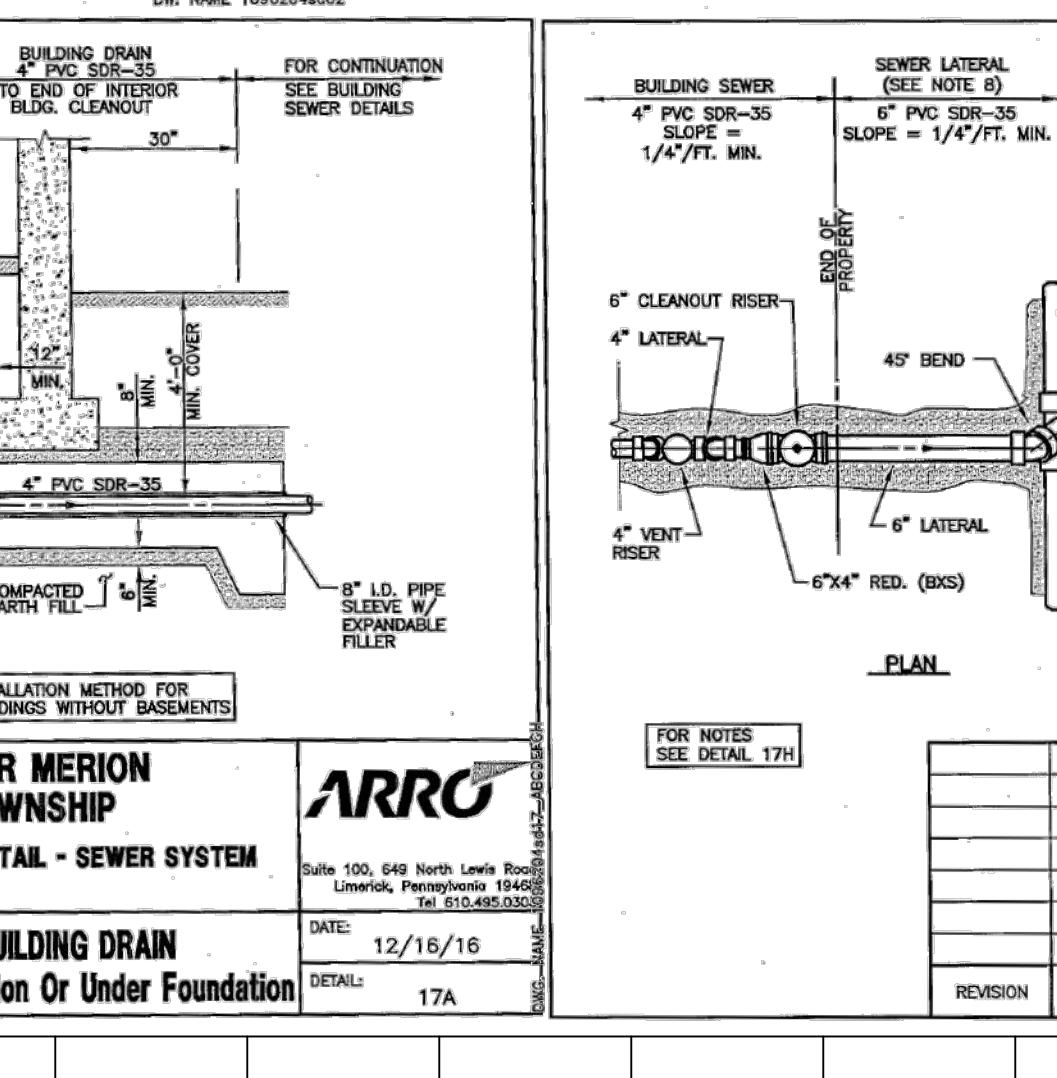
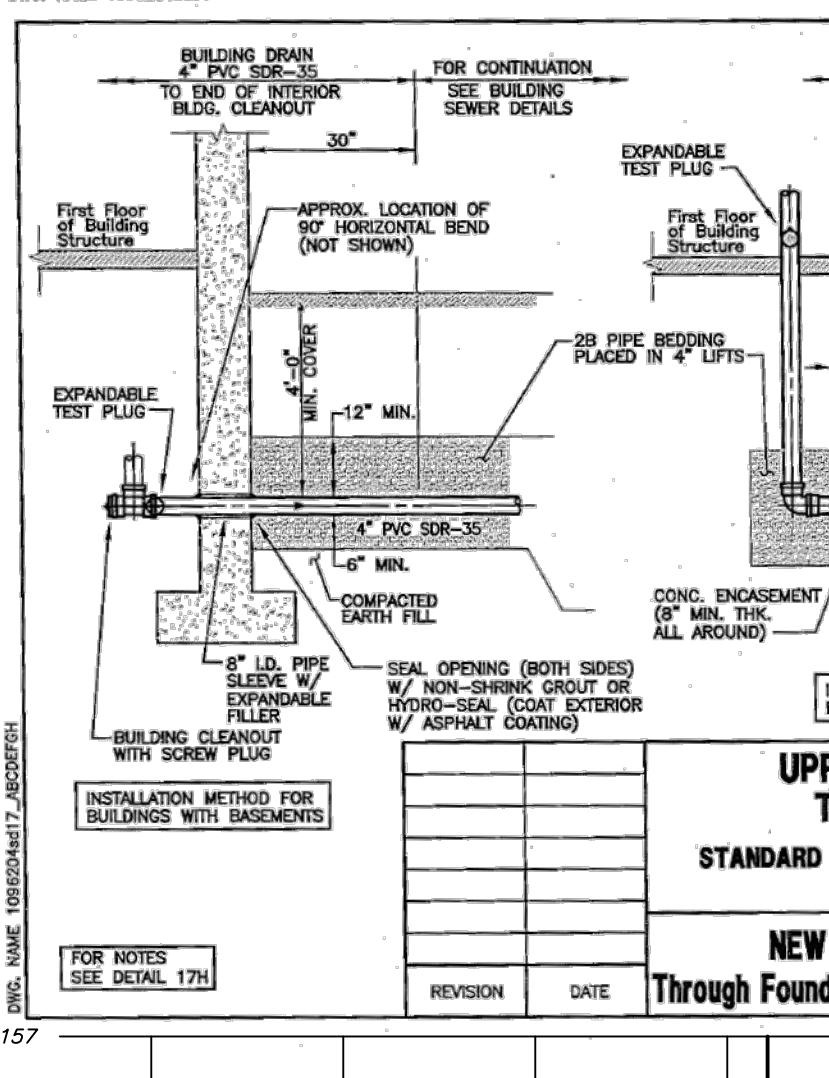
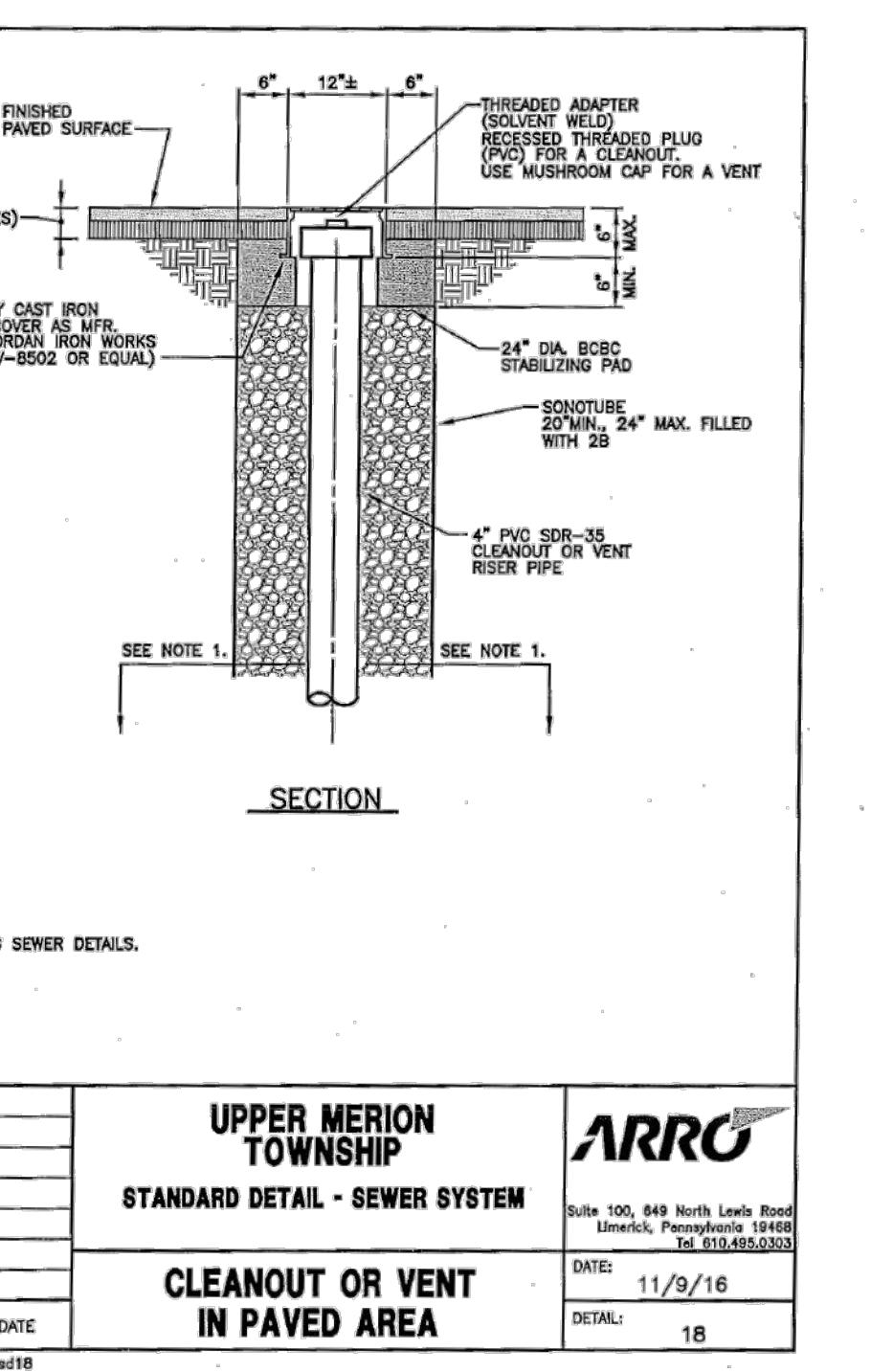
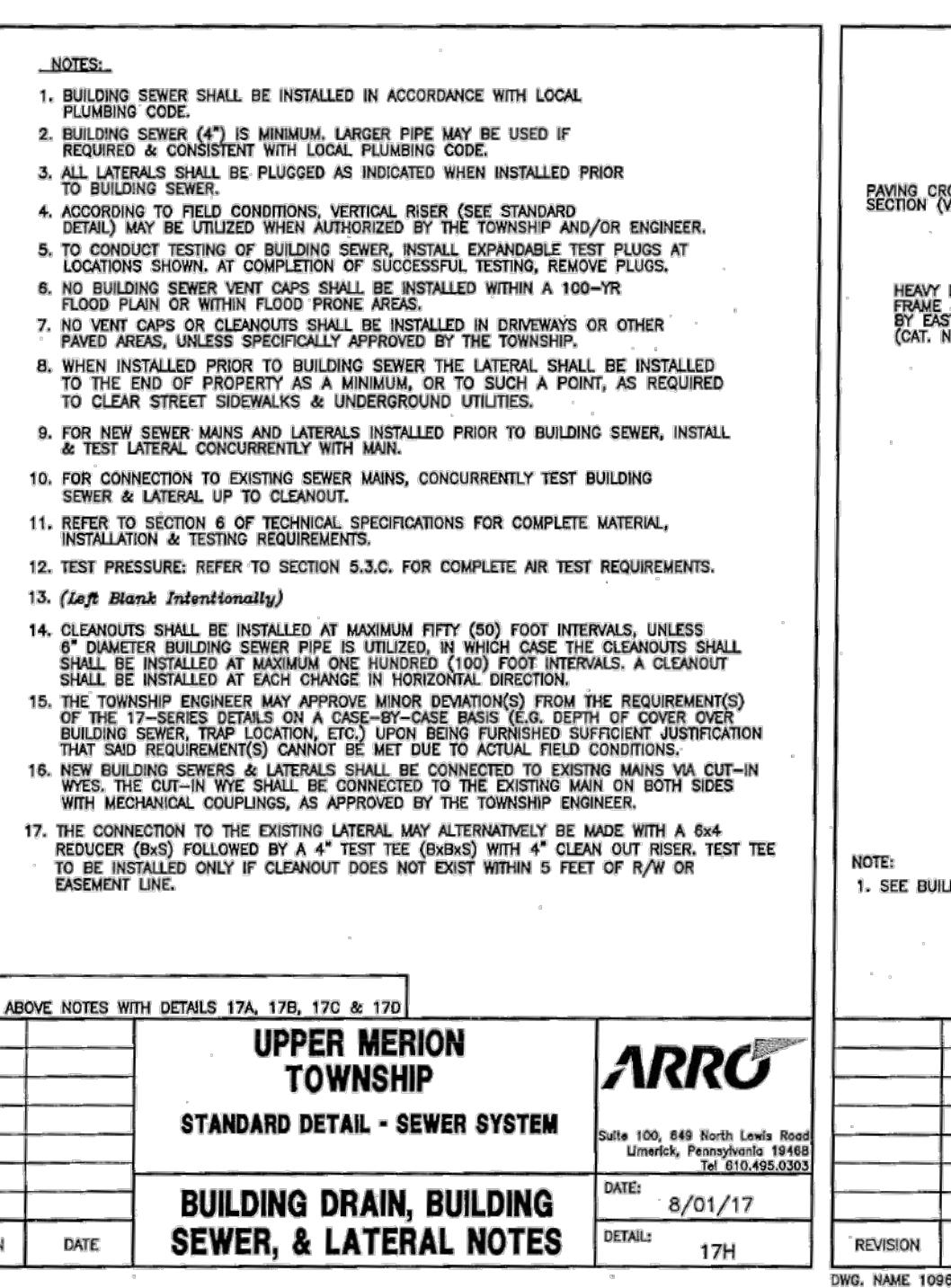
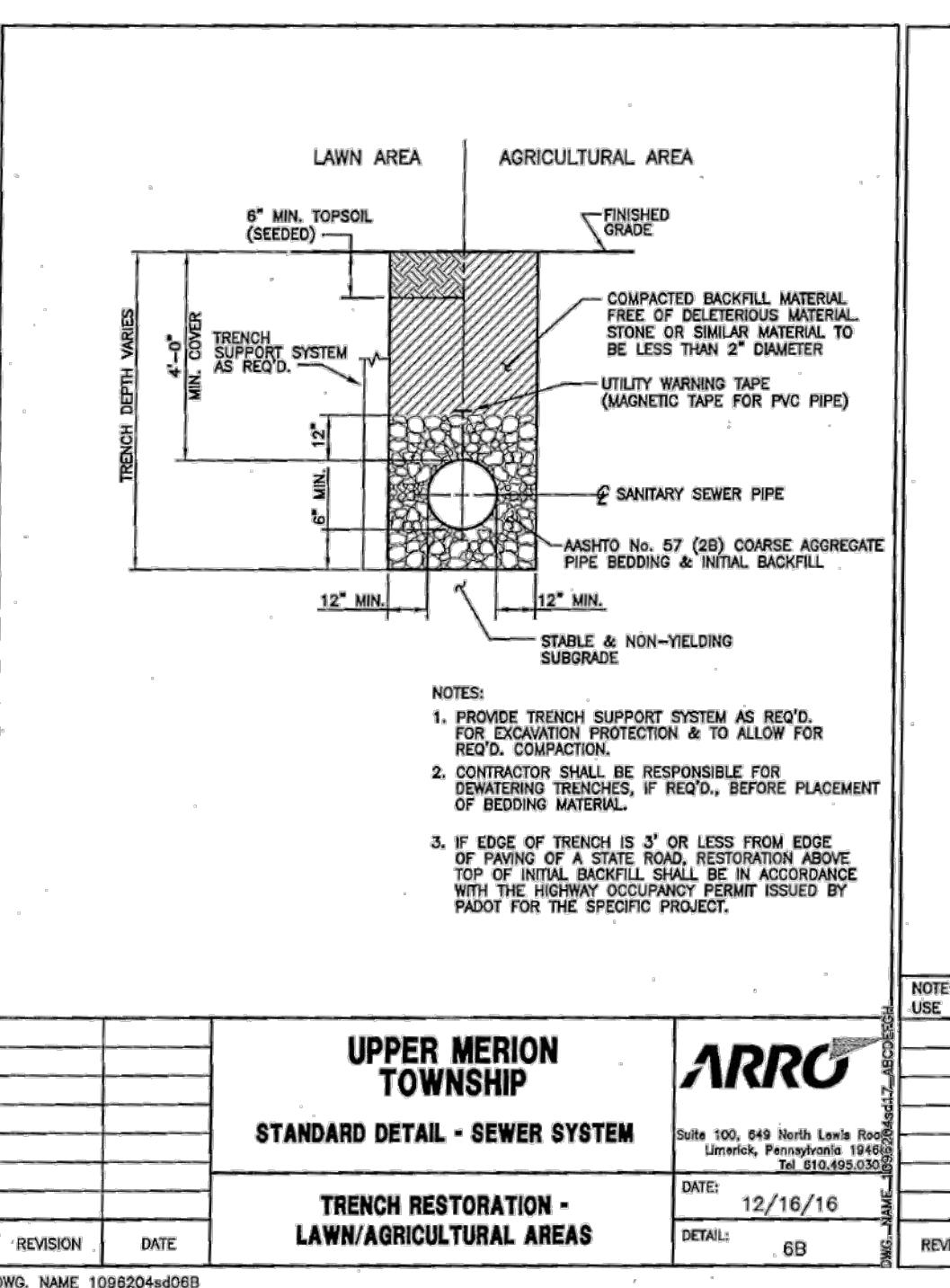
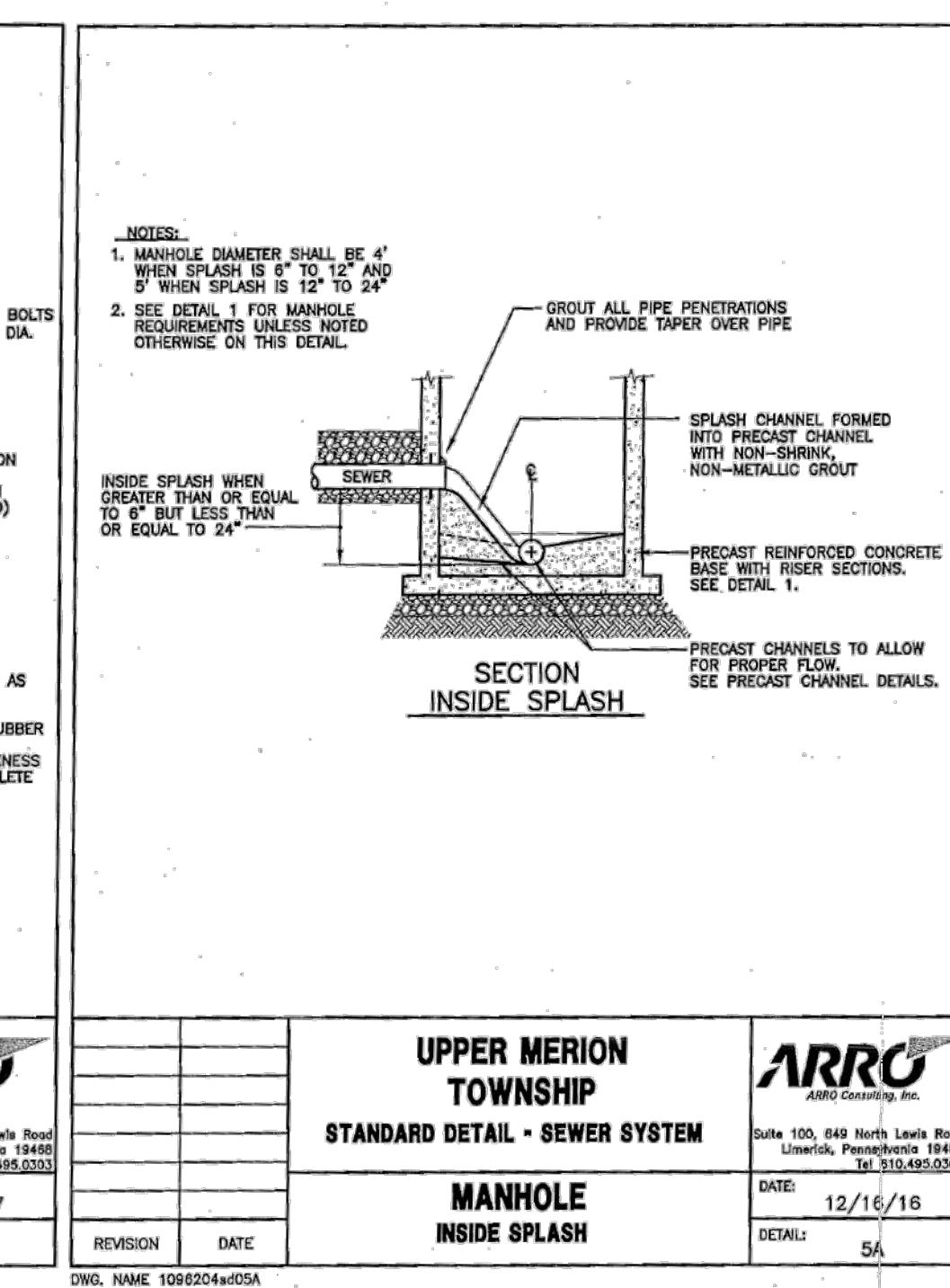
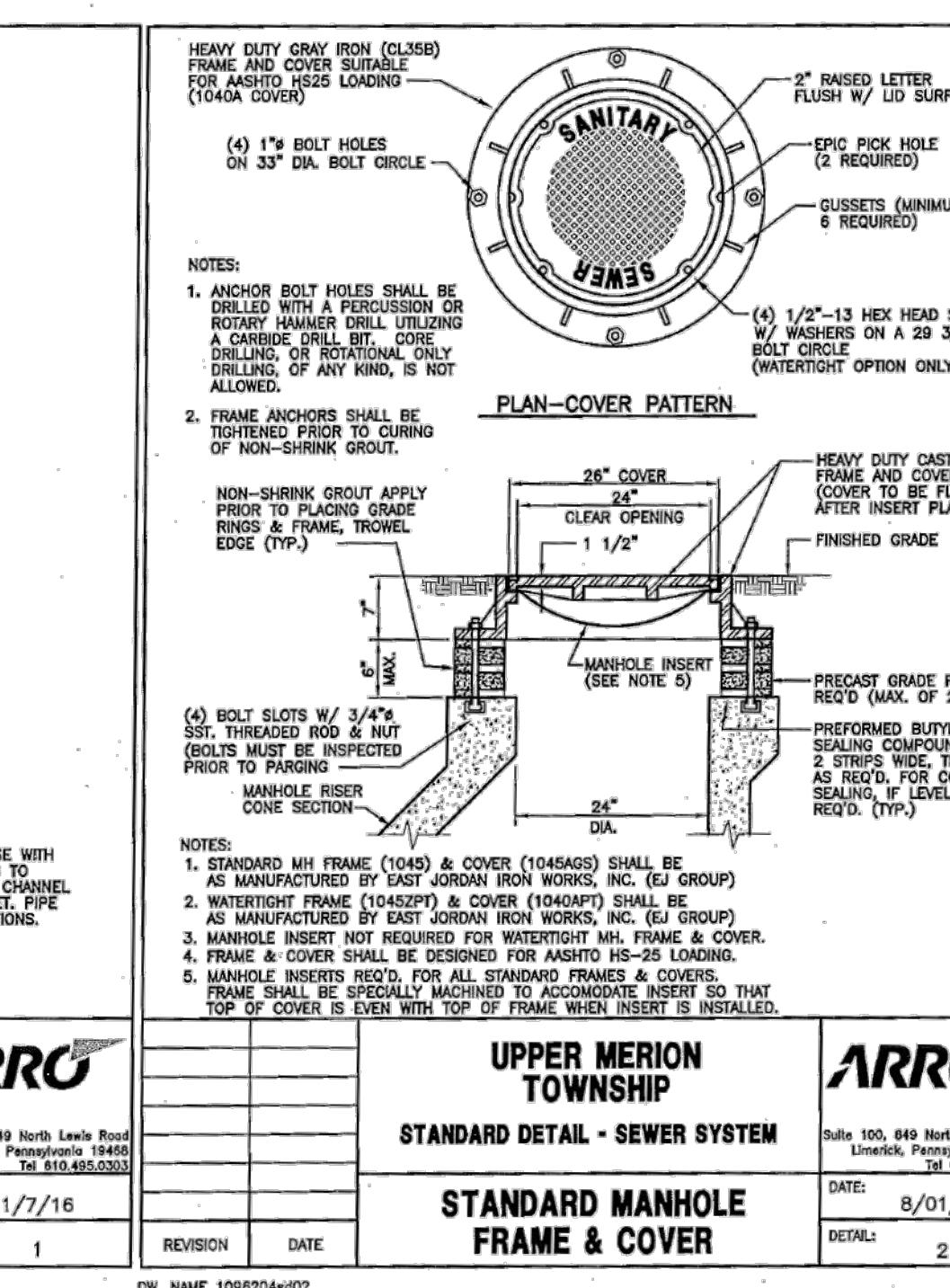
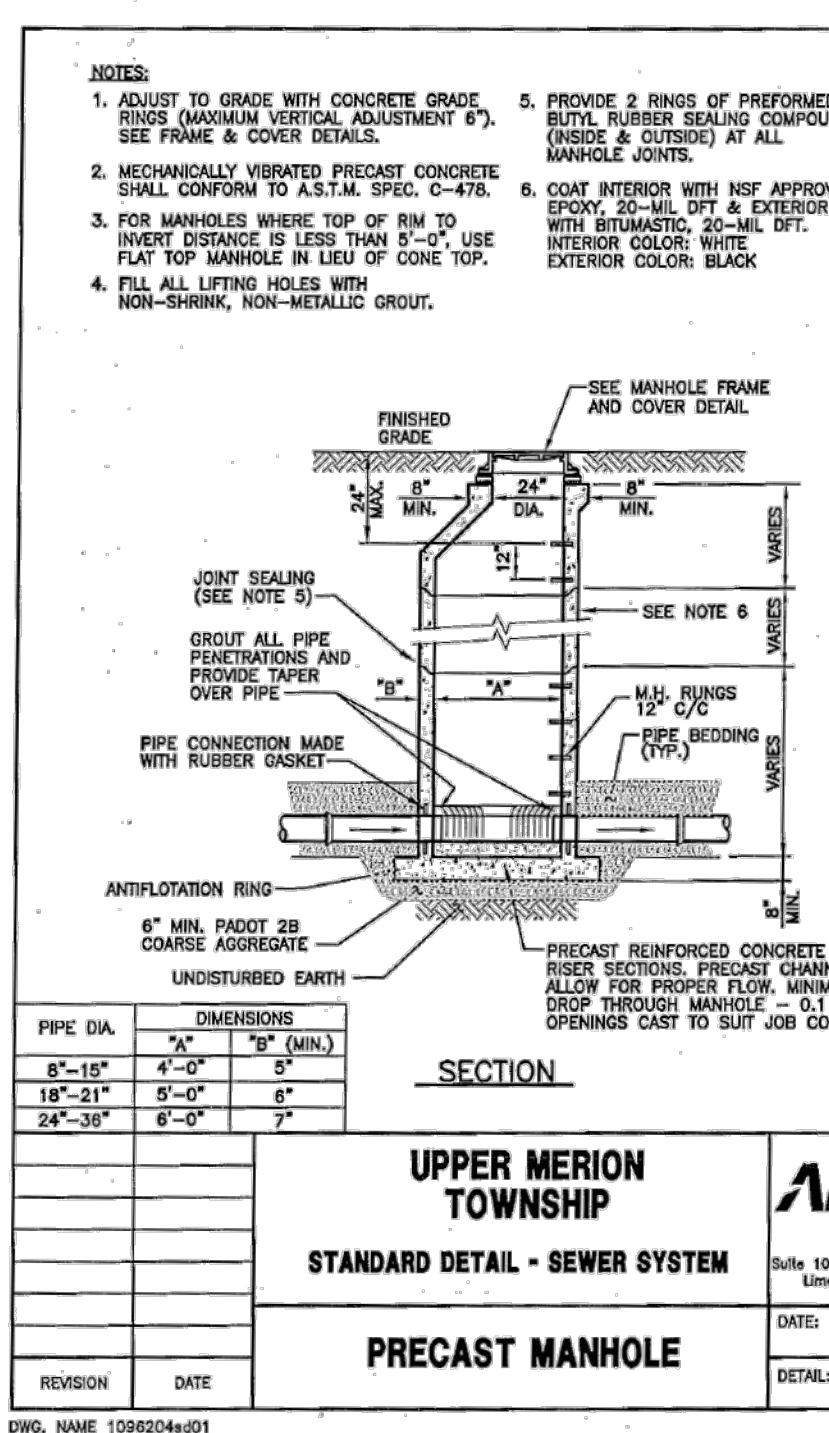
PARKVIEW HOMES AT VALLEY FORGE, LLC

450 WEST BEIDLER ROAD, KING OF PRUSSIA

UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

MISCELLANEOUS CONSTRUCTION DETAILS & NOTES
SHEET 14 of 19
SCALE: 1" = NTS

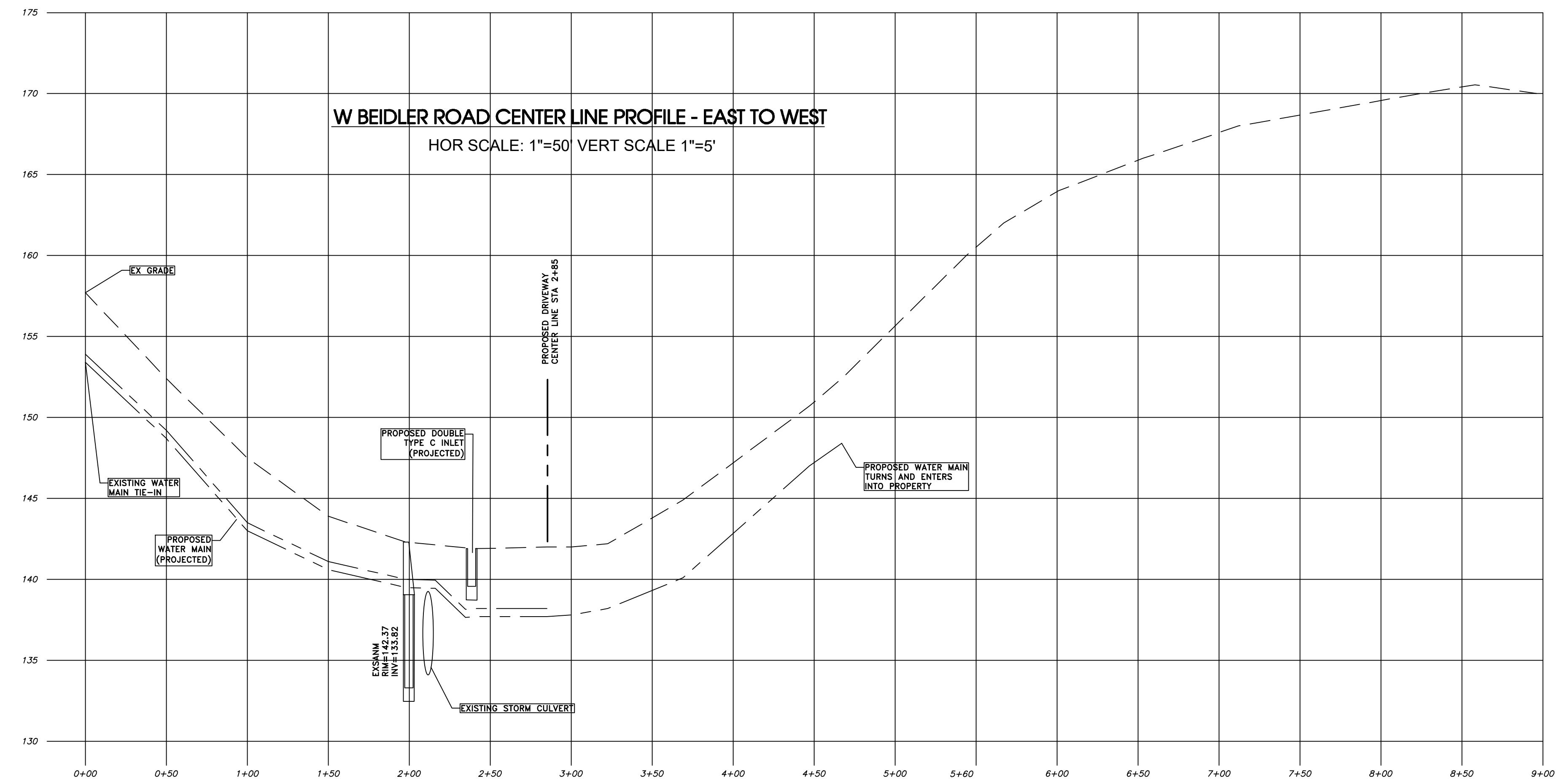
18 AUG 2025



LATERAL PIPE RUN TABLE								
LOT	INV @ MAIN	SWALE INV	COVER	LAT SLOPE	DIST TO HOUSE	FND STUB	GRADE	CVR
1	143.12	147.73	4.21	0.02	21.2	143.544	148.73	4.786
2	143.92	148.53	4.21	0.02	21.4	144.348	149.49	4.742
3	144.75	149.35	4.2	0.02	21.5	145.18	150.51	4.93
4	145.61	150.4	4.19	0.02	21.7	146.244	152.75	6.106
5	146.62	151.2	4.18	0.02	22.1	147.062	153.5	6.038
6	147.53	152.2	4.27	0.02	22	147.97	154.5	6.13
7	148.29	152.85	4.16	0.02	21.9	148.728	155.26	6.132
8	149.24	153.8	4.16	0.02	21.9	149.678	156.26	6.182
9	149.79	154.3	4.11	0.02	22.55	150.241	157.7	7.059

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P.O. BOX 1992	
SOUTHEASTERN, PA 19399	
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM	
LAND DEVELOPMENT PLAN/ NPDES PLAN	
PLAN PREPARED FOR:	
PARKVIEW HOMES AT VALLEY FORGE, LLC	
450 WEST BEIDLER ROAD, KING OF PRUSSIA	
UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA	
18 AUG 2025	
SANITARY PROFILE, DETAILS & NOTES	
15 of 19	
SCALE: 1" = NTS	



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PARKVIEW HOMES AT VALLEY FORGE, LLC
 450 WEST BEIDLER ROAD, KING OF PRUSSIA
 UPPER MERION TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

ROAD & DRIVE PROFILE
 SHEET 17 of 19
 SCALE: 1" = NTS

Parkview Homes at Valley Forge

450 West Beidler Road,
King of Prussia, PA
Upper Merion Township
Montgomery County

Forrester Landscape Studio LLC

PLANT SCHEDULE (TREES)

Qty	Tag	Scientific Name Common Name.....	Size	Type
7	Pia	<i>Picea abies</i> Norway Spruce.....	6-8'	Evergreen
6	Pio	<i>Picea omorika</i> Serbian Spruce.....	6-8'	Evergreen
7	IIS	<i>Ilex opaca</i> 'Satyr Hill' (female variety).....	6-8'	Evergreen (Broadleaf)
4	Cec	<i>Cercis canadensis</i> Redbud.....	6-8'	Ornamental Tree
4	Chv	<i>Chionanthus virginicus</i> Fringe Tree.....	6-8'	Ornamental Tree
4	Mav	<i>Magnolia virginiana</i> Sweetbay Magnolia.....	6-8'	Ornamental Tree
3	AcR	<i>Acer rubrum</i> 'Red Sunset' Red Maple.....	2.5-3"	Shade Tree
4	Ben	<i>Betula nigra</i> ' Heritage' River Birch.....	2.5-3"	Shade Tree
3	Ceo	<i>Celtis occidentalis</i> Hackberry.....	2-2.5"	Shade Tree
6	Clk	<i>Cladastis kentukea</i> Yellowwood.....	2.5-3"	Shade Tree
6	Osv	<i>Ostrya virginiana</i> Hop Hornbeam.....	2.5-3"	Shade Tree
4	Qub	<i>Quercus bicolor</i> Swamp White Oak.....	2.5-3"	Shade Tree
6	Qup	<i>Quercus phellos</i> Willow Oak.....	2.5-3"	Shade Tree

TOTAL TREES: 64

Number of species: 13
Maximum number of any one species: 7 (11%)
Maximum permitted: 20%

LANDSCAPE REQUIREMENTS

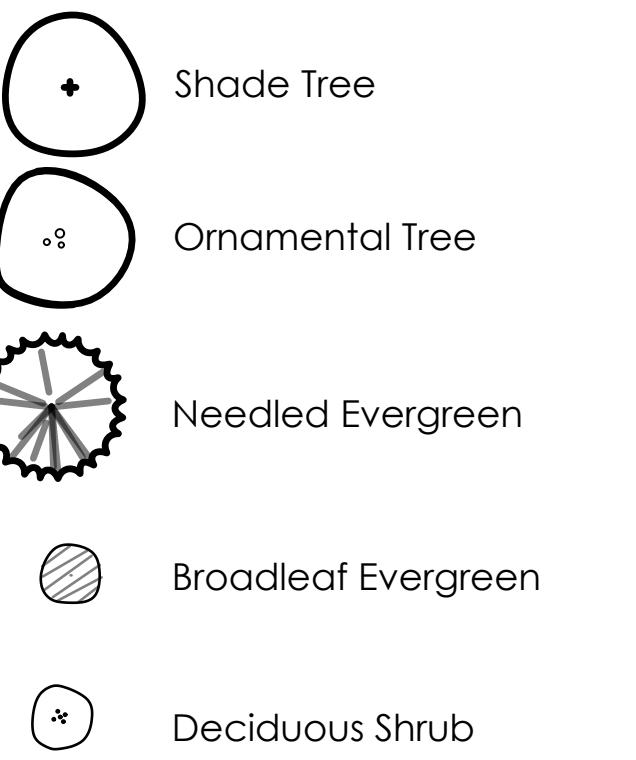
- 1. STREET TREES –
1 TREE / 40 LF ALONG WEST BEIDLER ROAD FROM LOT 1 TO LOT 10
= 352 LF = 9 STREET TREES
 - 2. BUILDING LANDSCAPING –
2.1 CANOPY TREE / 50 LF OF BUILDING PERIMETER
520 LF / 50 LF = 11 TREES

2.2 5 SHRUBS / 20 LF OF BUILDING PERIMETER
= 520 LF / 20 x 5 = 130 SHRUBS
 - 3. DWELLING UNIT –
1 CANOPY TREE / 2 DWELLING UNITS
9 UNITS / 2 = 5 TREES
 - 4. PARKING LOT LANDSCAPING
1 TREE / ISLAND & SHRUBS = 12 SHRUBS
SCREEN PARKING FROM PUBLIC ROAD
 - 5. LANDSCAPE BUFFER – SOFTENING BUFFER

LANDSCAPE MAINTENANCE

- | ACTIVITY | FREQUENCY |
|--|---|
| WATER VEGETATION AT THE END OF EACH DAY FOR TWO WEEKS AFTER PLANTING IS COMPLETED. | DAILY FOR TWO WEEKS AFTER INSTALLATION. |
| WATER VEGETATION REGULARLY TO ENSURE SUCCESSFUL ESTABLISHMENT. | EVERY FOUR DAYS AFTER FOUR DAYS OF NO RAIN. |
| INSPECT VEGETATION FOR SIGNS OF DISEASE OR DISTRESS. | BIWEEKLY FOR ONE YEAR. |
| REMULCH VOID AREAS | AS NEEDED. |
| TREAT DISEASED TREES AND SHRUBS. | AS NEEDED. |
| REMOVE LITTER AND DEBRIS | MONTHLY. |
| INSPECT TREES AND SHRUBS TO EVALUATE HEALTH. REPLACING IF | QUARTERLY. |

LEGEND



BASE INFORMATION:
BOLD LINES: PROPOSED

- | | |
|--|---|
| | NPDES PERMIT BOUNDARY |
| | LIMIT OF DISTURBANCE LINE |
| | PROPERTY LINE |
| | RIGHT-OF-WAY |
| | BUILDING SETBACK LINE |
| | EDGE OF PAVEMENT |
| | MONUMENT OR PIN (FOUND)
(FOUND AND HELD) |
| | (TO BE SET) |
| | 1' INTERVAL CONTOUR |
| | PROPOSED INTERVAL |
| | 5' INDICATOR CONTOUR |
| | PROPOSED INDICATOR |
| | 2' LIDAR CONTOURS |
| | STORM SEWER PIPING |
| | STORMWATER MANHOLE |
| | STORMWATER INLET |
| | STORM CLEAN OUT |
| | SANITARY SEWER PIPING |
| | GAS MAIN |
| | WATER MAIN / SERVICE |
| | UNDERGROUND ELECTRIC |
| | OVERHEAD WIRES & POLES |
| | COMMUNICATION |
| | HYDRANT |
| | WATER VALVE |
| | WATER METER |
| | SANITARY VENT |
| | SANITARY CLEAN OUT |
| | SANITARY MANHOLE |
| | GAS METER |
| | GAS VALVE |
| | BUILDINGS |
| | PORCH/ROOF LINES |
| | WALKS & PADS |
| | ASPHALT |
| | WALLS |
| | EDGE OF LANDSCAPING |
| | FENCE LINE |
| | LIGHT POLE |
| | SOIL BOUNDARY |
| | & MAP SYMBOL |
| | NORTH AMERICAN GREEN VMAX |
| | TURF REINFORCEMENT MATTING |
| | STREAM |
| | WETLANDS W/FLAGS |
| | FLOODWAY |
| | SLOPES, 15-25% |
| | STEEP SLOPES, >25% |
| | NATURAL |
| | MAN-MADE |
| | SOIL CHANGE |

NOTES

See Sheet L1.2 for shrub plantings, quantities and schedule
See Sheet L2.1 for planting details and specifications

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CONSTRUCTION

12/22/2025

Planting Plan

Planting Plan (Trees)

0' 60' 90'

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L1.1

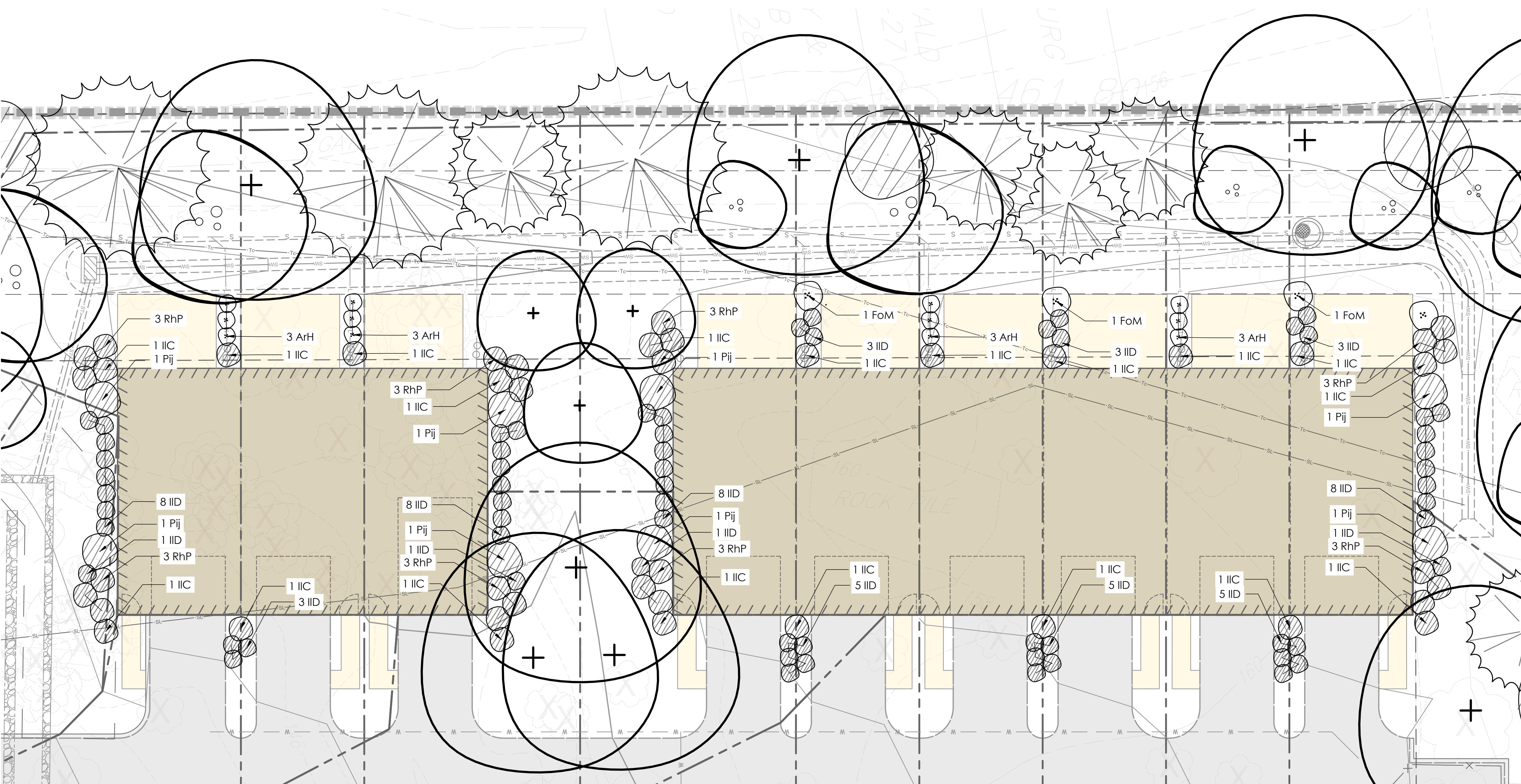
PLANT SCHEDULE (SHRUBS)

Qty	Tag	Scientific Name Common Name.....	Size
12	ArH	<i>Aronia melanocarpa</i> 'Landscape Hedger' Hedge Form Chokeberry...	18"
3	FoM	<i>Fothergilla gardenii</i> 'Mt Airy' Mount Airy Fothergilla.....	18"
19	IIC	<i>Ilex meserveae</i> 'Castle Spire' Castle Spire Holly.....	24-36"
63	IID	<i>Ilex glabra</i> 'Densa' Compact Inkberry	18"
8	Pij	<i>Pieris japonica</i> 'Mountain Fire' Japanese Andromeda.....	18"
24	RhP	<i>Rhododendron</i> PJM PJM Hybrid Rhododendron.....	18"

NOTES:

1. ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, MOST RECENT EDITION.
 2. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWNSHIP'S PLANTING STANDARDS AND SPECIFICATIONS. SEE DETAILS ON THIS SHEET FOR SOIL ADMIXTURE REQUIREMENTS, MULCHING AND STAKING/GUYING.
 3. ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF 18 MONTHS FOLLOWING FINAL APPROVAL BY TOWNSHIP.
 4. PLANT SUBSTITUTIONS SHALL BE APPROVED BY TOWNSHIP OR OWNER'S REPRESENTATIVE.
 5. PRIOR TO INSTALLATION, PLANT LOCATION, HEALTH AND SIZE SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.

See sheet L2.1 for details and additional specifications



Planting Plan (Shrubs)

LEGEND



BASE INFORMATION:
BOLD LINES: PROPOSED

Faded Lines: Existing

Horizontal line with vertical end caps	NPDES PERMIT BOUNDARY
Horizontal line with diagonal hatching	LIMIT OF DISTURBANCE LINE
Horizontal line with short vertical dashes	PROPERTY LINE
Horizontal line with long vertical dashes	RIGHT-OF-WAY
Horizontal line with short horizontal dashes	BUILDING SETBACK LINE
Horizontal line with long horizontal dashes	EDGE OF PAVEMENT
Horizontal line with a circle containing 'MON/PIN (F)'	MONUMENT OR PIN (FOUND)
Horizontal line with a circle containing '(F&H)'	(FOUND AND HELD)
Horizontal line with a circle containing '(TBS)'	(TO BE SET)

Survey Symbols

Yellow dashed line	1' INTERVAL CONTOUR
Yellow solid line	PROPOSED INTERVAL
Yellow dotted line	5' INDICATOR CONTOUR
Yellow dashed line with a circle	PROPOSED INDICATOR
Yellow solid line with a circle	2' LIDAR CONTOURS
Line with 'ST>' and a circle with 'STRM'	STORM SEWER PIPING
Line with a circle with 'MH'	STORMWATER MANHOLE
Line with a circle with 'INLET'	STORMWATER INLET
Line with a circle with 'CO'	STORM CLEAN OUT
Line with 'S'	SANITARY SEWER PIPING
Line with 'G'	GAS MAIN
Line with 'W'	WATER MAIN / SERVICE
Line with 'E'	UNDERGROUND ELECTRIC
Line with 'T'	OVERHEAD WIRES & POLES
Line with a circle and a cross	COMMUNICATION
Line with a circle and a cross (hydrant)	HYDRANT
Line with a circle and a cross (water valve)	WATER VALVE
Line with a circle and a cross (water meter)	WATER METER
Line with a circle and a cross (sanitary vent)	SANITARY VENT
Line with a circle and a cross (sanitary clean out)	SANITARY CLEAN OUT
Line with a circle and a cross (sanitary manhole)	SANITARY MANHOLE
Line with a circle and a cross (gas meter)	GAS METER
Line with a circle and a cross (gas valve)	GAS VALVE

Land Cover

Black and white hatched pattern	BUILDINGS
Black and white dashed pattern	PORCH/ROOF LINES
Black and white solid pattern	WALKS & PADS
Black and white solid pattern	ASPHALT
Black and white solid pattern	WALLS

Site Features

Wavy line	EDGE OF LANDSCAPING
Line with 'X'	FENCE LINE
Light pole symbol	LIGHT POLE
Soil boundary symbol	SOIL BOUNDARY
& Map symbol	& MAP SYMBOL
North American Green VMAX C350	NORTH AMERICAN GREEN VMAX C350
Turf reinforcement matting symbol	TURF REINFORCEMENT MATTING
Stream symbol	STREAM

Wetlands with Flags

Blue rectangle with a white cross	WETLANDS W/FLAGS
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Floodway

Blue rectangle with diagonal hatching	FLOODWAY
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Slopes

Blue rectangle with diagonal hatching	SLOPES, 15-25%
Blue rectangle with diagonal hatching	STEEP SLOPES, >25%

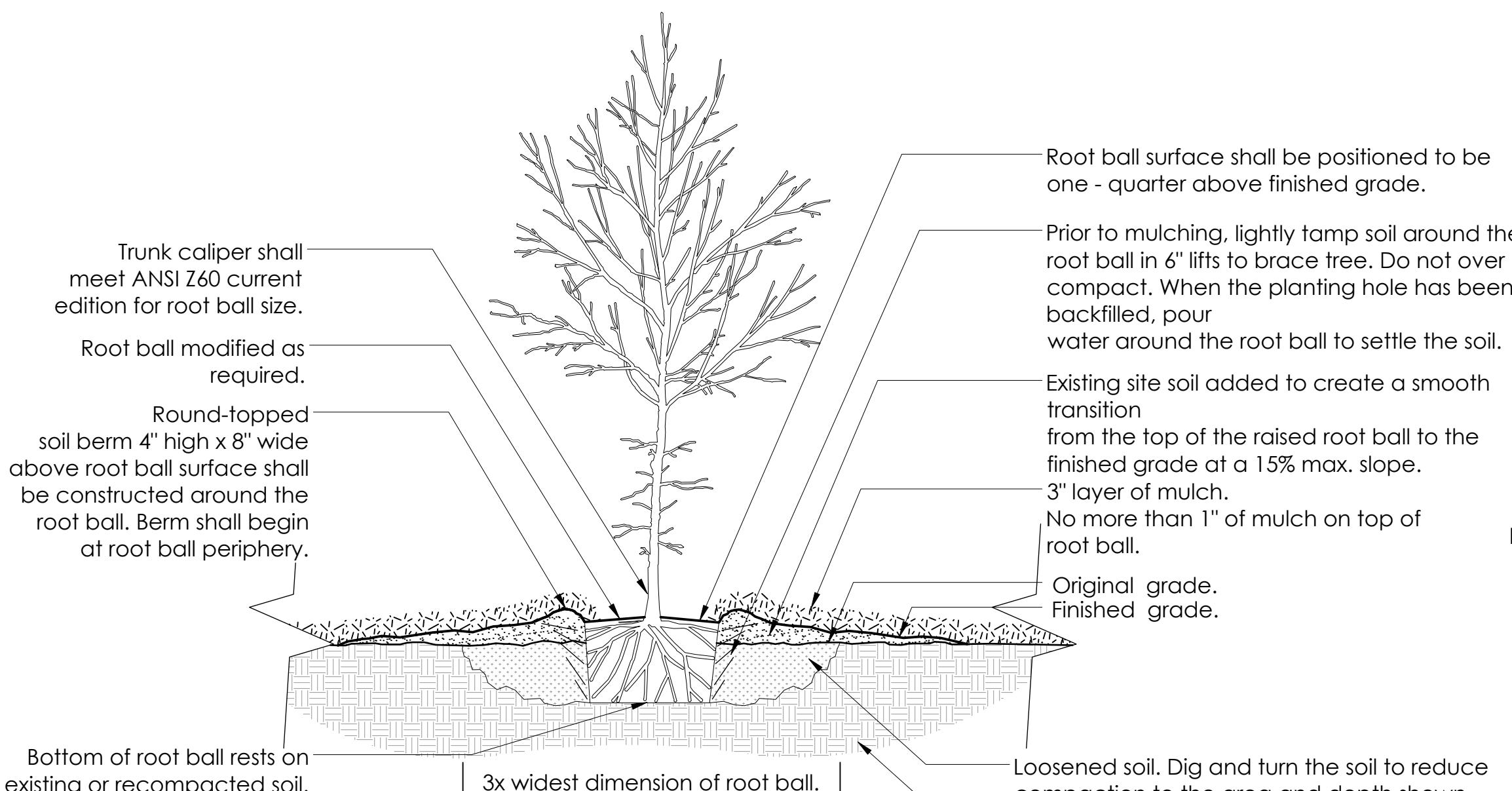
Legend Bottom

NATURAL	MAN-MADE
OR <6° CHANGE	

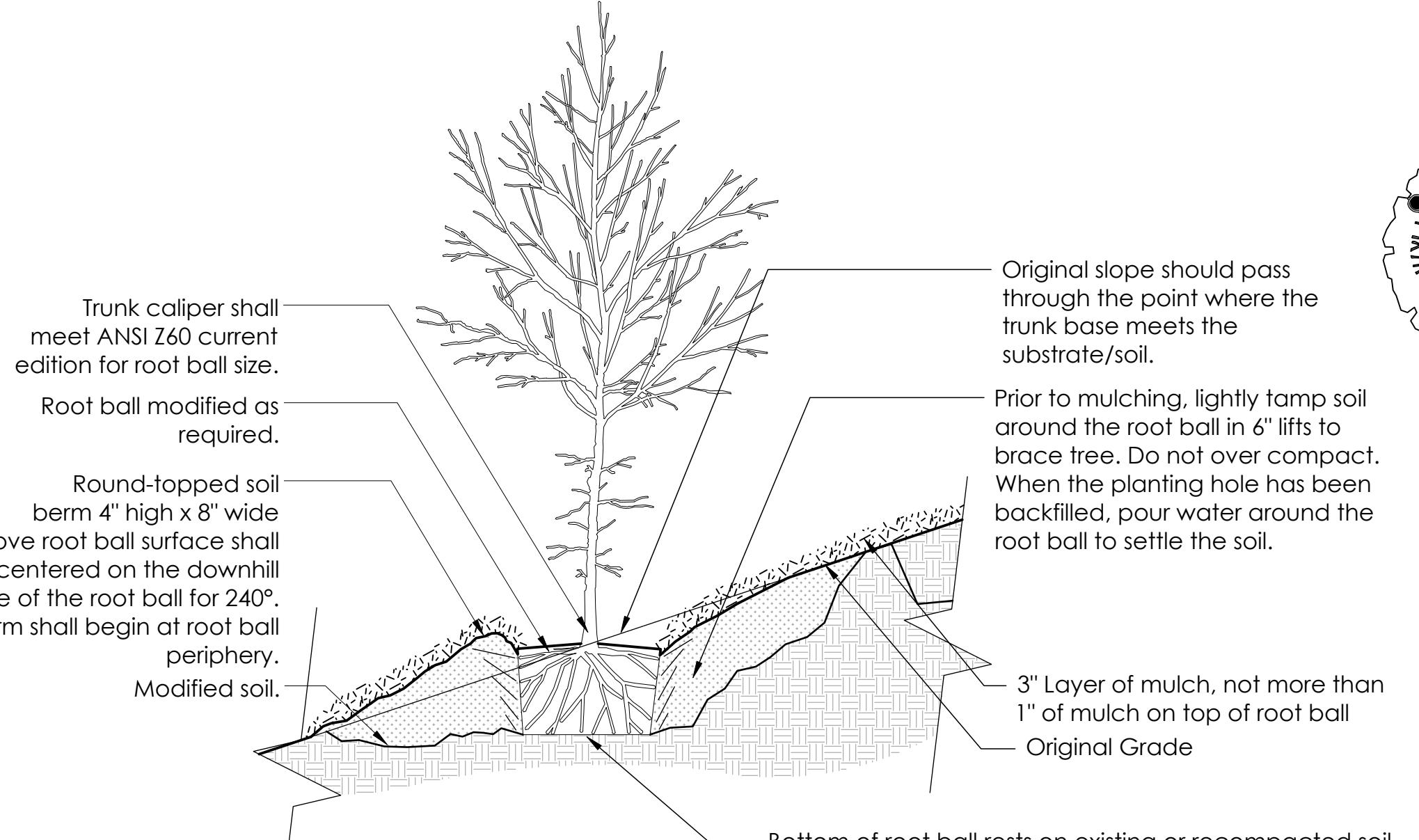
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Planting Plan

L1.2

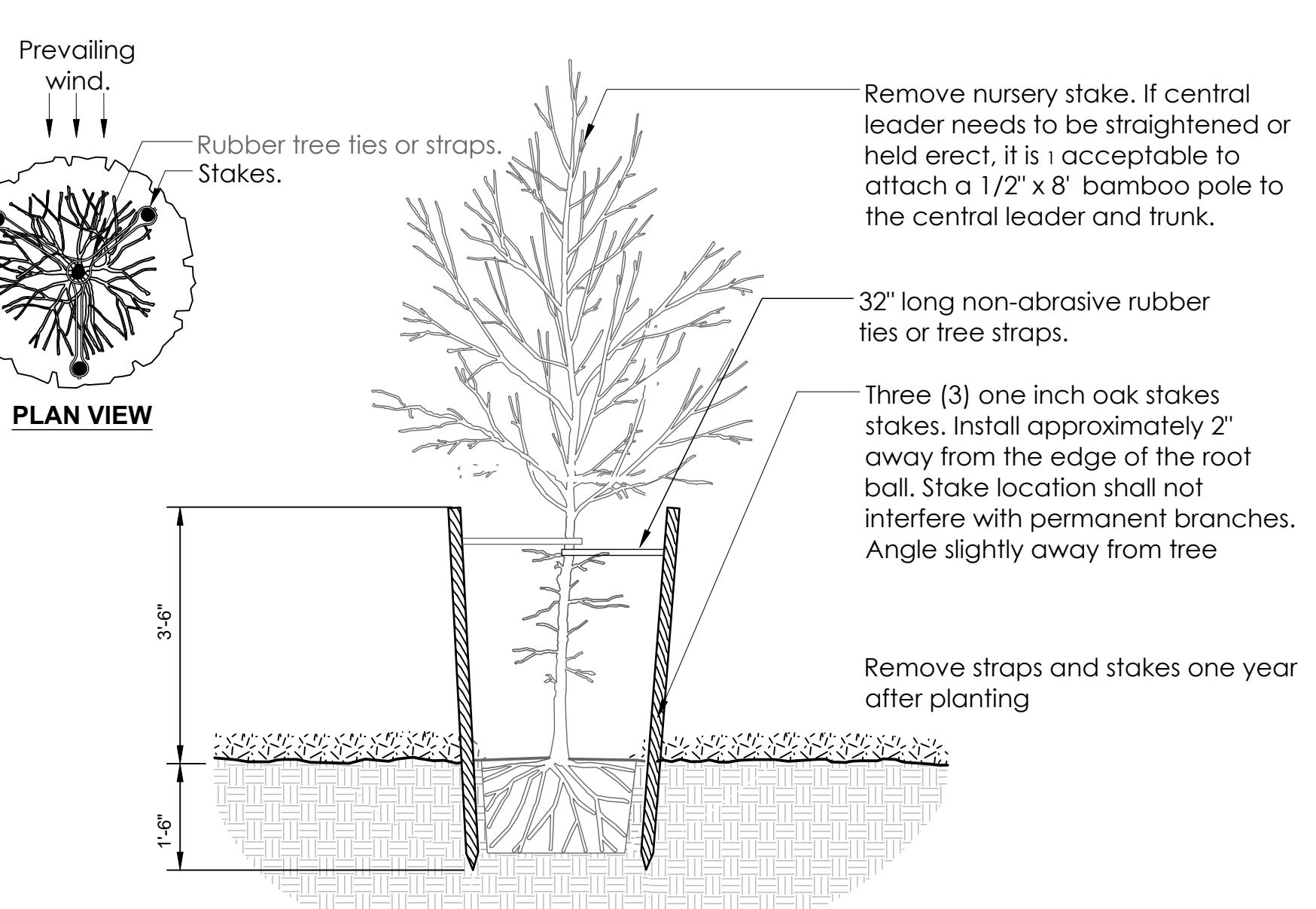
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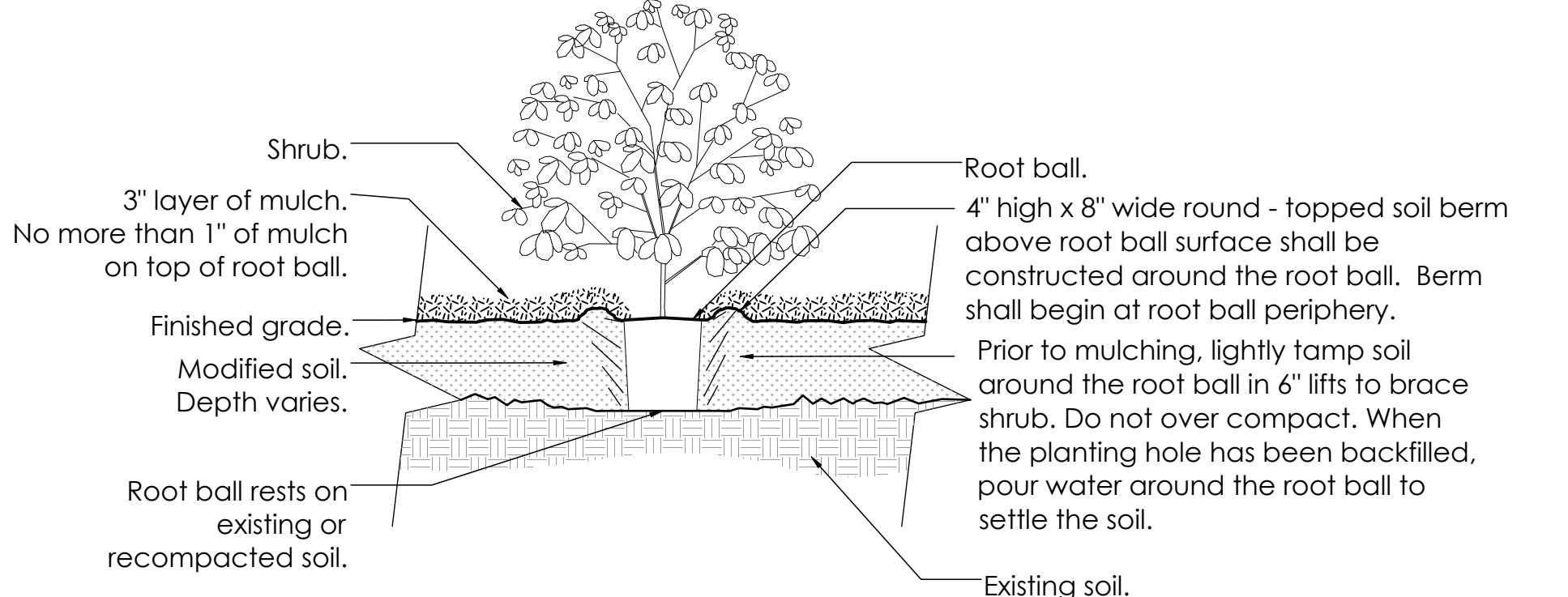
Tree Planting on Level Ground (up to 5% slope)



Tree Planting on Slopes of 5% (20:1) to 50% (2:1)



Tree Staking



Shrub Planting on Level Ground (Up to 5%)

LANDSCAPE NOTES:

1. PLANT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL STAKE LOCATIONS FOR APPROVALS BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
2. PROVIDE CONTINUOUS MULCH (3" THICK) IN ALL BEDDING AND GROUND COVER AREAS AND AT THE BASE OF SPECIMEN TREES.
3. SIZES OF PLANT MATERIAL GIVEN ARE TO BE CONSIDERED MINIMUM.
4. NO SUBSTITUTIONS FOR PLANT MATERIAL ARE ACCEPTABLE UNLESS APPROVED BY THE TOWNSHIP.
5. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE, INCLUDING WATERING OF PLANT MATERIAL UNTIL JOB IS TURNED OVER TO OWNER.
6. CONTRACTOR SHALL LOOSEN SUBGRADE OF PLANTING BED AREAS TO A MINIMUM DEPTH OF TWENTY-FOUR INCHES (24") USING A CULTIVATOR OR SIMILAR EQUIPMENT. REMOVE STONES ONE TO ONE AND A HALF INCHES (1"-1-1/2") IN ANY DIMENSIONS AND STICKS, RUBBISH AND OTHER EXTRANEous MATERIAL.
7. WHEN CONDITIONS DETERIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR SUSPECTED, SUCH AS RUBBLE FILL, UNACCEPTABLE TOPSOIL, ADVERSE DRAINAGE CONDITIONS OR OTHER OBSTRUCTIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING BEFORE PLANTING ANY TREES, SHRUBS OR LAWN AREAS.
8. TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
9. TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE OF DISEASES AND INSECT INFESTATIONS.
10. TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
11. ALL PLANTING BEDS SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH INSTALLED AT A MINIMUM DEPTH OF THREE INCHES (3").
12. ALL PLANTING BEDS WITHOUT SHRUB OR GROUND COVER PLANT MATERIAL SHALL BE PLANTED WITH A BLUE GRASS SEED MIX.
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PLAN.
14. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER AND/OR LANDSCAPE ARCHITECT.
15. THIS PLAN IS INTENDED FOR LANDSCAPE PURPOSES ONLY.
16. NO MORE THAN FIVE INCHES (5") OF SOIL SHALL BE PLACED AROUND THE TRUNKS OF TREES WHICH ARE TO REMAIN. FOR THOSE TREES WHICH ARE TO REMAIN, WHERE MORE THAN FIVE INCHES (5") OF SOIL ARE TO BE PLACED, TREE WELLS SHALL BE CONSTRUCTED TO PRESERVE SUCH TREES.
17. ALL SIZES AND GRADING STANDARD FOR PLANT MATERIALS SHALL CONFORM WITH THE LATEST EDITION OF AMERICAN STANDARD OF NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., AND APPROVED MAY 2, 1986 BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC. OR THE LATEST REVISED EDITION OF THIS STANDARD.
18. TOPSOIL REMOVED BY GRADING OPERATIONS SHALL BE REDISTRIBUTED AND STABILIZED AS SOON AS POSSIBLE FOLLOWING THE COMPLETION OF A PHASE OF WORK OR THE ENTIRE PROJECT. ALL EXPOSED EARTH SURFACES SHALL BE STABILIZED BY THE FOLLOWING METHODS OR APPROVED EQUAL:
 - (A) SEEDING OR PLANTING OF SLOPES WITH A GRADIENT OF THIRTY PERCENT (30%) OR LESS STEEP.
 - (B) SODDING OR HYDRO SEEDING OF SLOPES WITH A GRADIENT OF THIRTY PERCENT (30%) OR MORE STEEP.
19. ALL TREES TO BE RETAINED SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS. THE CONTRACTOR SHALL LABEL EACH TREE AND SHRUB WITH SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.

20. ALL DISTURBED AREAS ARE TO BE SEADED TO ESTABLISH A Viable LAWN.

21. ANY TREE OR SHRUB THAT DIES WITHIN EIGHTEEN (18) MONTHS OF THE DEDICATION OF PUBLIC IMPROVEMENTS OF OCCUPANCY SHALL BE REPLACED. ANY TREE OR SHRUB WHICH, WITHIN THE AFOREMENTIONED TIME PERIOD DEEMED, IN THE OPINION OF AN AGENT AUTHORIZED BY THE TOWNSHIP, NOT TO HAVE SURVIVED OR GROWN IN A MANNER CHARACTERISTIC OF ITS TYPE SHALL BE REPLACED. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE TOWNSHIP.

22. CLEAR SIGHT TRIANGLES SHALL BE PROVIDED AT ALL STREET INTERSECTIONS, WITHIN SUCH TRIANGLES NO VISION-OBSTRUCTING OBJECT SHALL BE PERMITTED WHICH OBSCURES VISION ABOVE THE HEIGHT OF 24 INCHES AND BELOW 10 FEET, MEASURED FROM THE CENTERLINE GRADE OF INTERSECTING STREETS. EACH SIDE OF THE SIGHT TRIANGLE SHALL BE A MINIMUM OF 75 FEET, MEASURED FROM THE POINT OF INTERSECTION ALONG EACH ROAD CENTERLINE.

23. ALL SHRUBS ARE TO BE PLANTED MASSED TOGETHER IN MULCHED PLANTING BED.

24. ALL STAKES AND STRAPS AT THE TREES MUST BE REMOVED AFTER ONE YEAR.

25. ALL PLANTS SHALL CONFORM WITH THE STANDARDS FOR NURSERY STOCK OF AMERICAN ASSOCIATION OF NURSERYMEN.

26. PLANTING SOILS SHALL CONSIST OF 4 PARTS ORGANIC TOPSOIL, 1 PART PEAT HUMUS, 1 PART WASHED SAND.

27. TOPSOIL SHALL HAVE THE FOLLOWING COMPOSITION AND MAKE UP:

- (A) SHALL CONTAIN ORGANIC MATTER SUITABLE TO SUPPORT PLANT LIFE, INCLUDING A COMPOSITION OF APPROXIMATELY 5-10% SAND, 7-16% ORGANIC MATERIAL, NO MORE THAN 30% WEIGHT OF CLAY.
- (B) SHALL BE WEED FREE (ABSENCE OF LIVING WEED CONTAMINATION).
- (C) SHALL HAVE LESS THAN 2% BY WEIGHT OF UNWANTED MATERIALS SUCH AS STONES (NO LARGER THAN 12mm IN DIAMETER IN THE TOP 50mm), CONCRETE, STEEL, CLAY LUMPS, TREE ROOTS, STICKS OR OTHER INORGANIC MATERIAL.

28. NO TREES SHALL BE PLANTED CLOSER THAN FIFTEEN (15') FEET FROM THE FIRE HYDRANTS OR STOP SIGNS.

29. NO TREES SHALL BE PLACED WITH THEIR CENTERS LESS THAN FIVE (5) FEET FROM

ANY PROPERTY LINE AND NO SHRUBS WITH THEIR CENTERS LESS THAN THREE (3) FEET FROM ANY PROPERTY LINE.

30. EXISTING TREES AND SHRUBS AT THE CORNER OF AN INTERSECTION OF STREETS AND/OR DRIVEWAYS SHALL BE CUT TO THE HEIGHT OF TWENTY-FOUR INCHES (24") FROM POINT OF INTERSECTION OF CORNER PROPERTY LINES BACK SEVENTY-FIVE FEET (75') TO AVOID BLOCKING SIGHT DISTANCE ON ONCOMING TRAFFIC, AND SHRUBS OR GROUNDCOVERS TO BE PLANTED SHALL BE OF THE MATURE VARIETY AND SHALL NOT EXCEED TWENTY-FOUR INCHES (24") IN HEIGHT AT Maturity.

31. ALL TREES ALONG THE RIGHT-OF-WAY OF ANY PROPERTY SHALL BE KEPT TRIMMED NINE FEET (9') ABOVE ANY SIDEWALK AND ELEVEN FEET (11') ABOVE ALL STREETS. AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES MUST BE ACHIEVED FOR EMERGENCY VEHICLE ACCESS.

32. PROPER SIGHT LINES SHALL BE MAINTAINED AT ALL INTERSECTIONS OF STREETS. THERE SHALL BE A CLEAR SIGHT TRIANGLE MEASURING SEVENTY-FIVE FEET (75') ALONG THE INTERSECTING STREET LINES FROM THE POINT OF INTERSECTION INDICATING ON THE PLAN, THAT IS MAINTAINED FREE AND CLEAR OF STRUCTURES, SIGNS AND OTHER VISUAL OBSTRUCTIONS.

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L2.1
SHEET 20 OF 21